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## SPEAKERS PANEL (PLANNING)

**Day:** Wednesday  
**Date:** 24 May 2017  
**Time:** 10.00 am  
**Place:** Guardsman Tony Downes House, Manchester Road,  
Droylsden, M43 6SF

Item No.	AGENDA	Page No
1.	<b>APOLOGIES FOR ABSENCE</b>	
2.	<b>DECLARATIONS OF INTEREST</b> To receive any declarations of interest from Members of the Council.	
3.	<b>MINUTES</b> The Minutes of the meeting of the Speakers Panel (Planning) held on 26 April 2017, having been circulated, to be signed by the Chair as a correct record.	1 - 4
4.	<b>PLANNING APPLICATIONS</b> To consider the schedule of applications.	
a)	<b>16/00533/FUL - 87 TOWN LANE, DENTON</b>	5 - 20
b)	<b>16/00766/REM - FORMER SITE OF CARR HILL MILLS, MANCHESTER ROAD, MOSSLEY</b>	21 - 36
c)	<b>16/00972/FUL - LAND NORTH WEST OF SHEPLEY INDUSTRIAL ESTATE, SHEPLEY ROAD, AUDENSHAW</b>	37 - 56
d)	<b>17/00131/OUT - HOLY TRINITY CHURCH HALL, 16A HIGHAM LANE, HYDE</b>	57 - 66
5.	<b>URGENT ITEMS</b> To consider any other items, which the Chair is of the opinion should be considered as a matter of urgency.	

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From: Democratic Services Unit – any further information may be obtained from the reporting officer or from Carolyn Eaton, Senior Democratic Services Officer, 0161 342 3050 or Carolyn.eaton@tameside.gov.uk to whom any apologies for absence should be notified.

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# Agenda Item 3

## SPEAKERS PANEL (PLANNING)

26 April 2017

Commenced: 10.00am

Terminated: 10.30am

Present: Councillor McNally (Chair)

Councillors: Glover, D Lane, J Lane, Middleton, Pearce, Ricci,  
Sweeton, Wild and Wills

Apologies for absence: Councillors P Fitzpatrick, Ward and Dickinson

### 40. DECLARATIONS OF INTEREST

There were no declarations of interest submitted by Members.

### 41. MINUTES

The Minutes of the proceedings of the meeting held on 22 March 2017 having been circulated, were taken as read and signed by the Chair as a correct record.

### 42. PLANNING APPLICATIONS

The Panel gave consideration to the schedule of applications submitted and it was:-

#### RESOLVED

That the applications for planning permission be determined as detailed below:-

<b>Name and Application No.</b>	<b>16/01115/REM</b> <b>Wainhomes (North West) Ltd and Northern Trust Company Ltd</b>
<b>Proposed Development:</b>	<b>Approval of details held in reserve, namely the layout, scale appearance and landscaping of the development (42 houses) following the grant of outline planning permission.</b> <b>East Tame Business Park, Rexcine Way, Hyde</b>
<b>Speakers:</b>	<b>Ben Pycroft, Wainhomes (North West) Ltd in support of the application.</b>
<b>Decision:</b>	<b>Approved subject to the conditions as set out in the report.</b>

### 43. OBJECTIONS TO PROPOSED WAITING RESTRICTIONS – DURHAM STREET, DROYLSDEN WHARF ROAD AND BRIDGEWATER WHARF, DROYLSDEN

Consideration was given to a report of the Assistant Executive Director, Environmental Services, outlining objections the objections received to the advertised proposed waiting restrictions in relation to the above roads.

Members were informed that, following the approval and subsequent construction of dwellings in connection with the Droylsden Wharf Marina project, Traffic Regulation Orders were advertised to enable all classes of vehicles to safely negotiate the small network of roads, namely Durham Street, Droylsden Wharf Road and Bridgewater Wharf (under construction). It was noted that the new development embraced the shared space concept where (apart from a small section of Durham Street) the highway did not have separate footways encouraging better road manners and lower vehicle speeds. The (original) Orders proposed No Waiting at any Time on:

- Bridgewater Wharf, both sides full length;
- Droylsden Wharf Road, both sides, full length;
- Durham Street, both sides full length apart from the northeast side of Durham Street from a point 65m from its junction with Market Street up to a point 14m from market Street (covered by an existing no waiting at any time/no loading at peak times restriction).

Following the closing date of the advertised order, 13 objections were received, however, 7 had subsequently been withdrawn or resolved after consultation and reasoned debate.

The objections still outstanding were detailed in the report including the officer response to these issues.

No objectors were in attendance at the meeting.

Members were further informed that, having considered the high level of objections to the original proposals and the highway safety issues associated in maintaining adequate accessibility for the emergency services and deliveries, a compromise had been agreed. The proposed waiting restrictions detailed in **Appendix B** to the report were deemed to be the 'best fit' taking into consideration the sinuous nature of the kerblines and the varying carriageway widths of Durham Street and Droylsden Wharf Road.

In terms of parking spaces available – the new proposals allowed for at least 1 space outside each property on Droylsden Wharf Road and outside numbers 1 – 27 Durham Street, those remaining properties where 'No Waiting at any Time' was proposed, private (off street) bays (or driveways) were provided.

It was noted that no objections to 'No Waiting at any Time' were received regarding Bridgewater Wharf.

Discussion ensued with regard to the proposals and the objections, as detailed in the report, and it was:

#### **RESOLVED**

**That the revised proposed waiting restrictions as described in the report and Appendix B to the report, be implemented as determined by the Council's statutory duty under S122 of the Road Traffic Regulation Act 1984, as follows:**

- (a) **Maintain the existing 'No Waiting at any Time' and No Loading 8am – 9.30am and 4.30pm – 6pm restrictions (both sides) on Durham Street Droylsden, from its junction with Market Street, for a distance of 14m in a north westerly direction, (no change from original proposal).**
- (b) **Introduce 'No Waiting at any Time' restrictions on:**
  - (1) **Durham Street (north west and north east side) from a point 20m south west of Droylsden Wharf Road to a point 120m from its junction with Market Street (includes turning head 20m south west of Droylsden Wharf Road, but excludes private parking spaces).**
  - (2) **Durham Street (south east and south west side) from a point 20m south west of Droylsden Wharf Road to a point 132m from its junction with Market Street and**



from a point 67m from Market Street to a point 14m from its junction with Market Street.

- (3) Droylsden Wharf Road (south west side) from its junction with Durham Street for a distance of 25m in a south easterly direction.
- (4) Droylsden Wharf Road (north east side) from its junction with Durham Street for a distance of 3m in a south easterly direction.
- (5) Bridgewater Wharf (both sides) from its junction with Canal Street up to and including both its cul-de-sac ends.

Introduce No Waiting and No Loading on -

- (6) Droylsden Wharf Road (both sides) 8am – 9.30am and 4.30pm – 6pm from its junction with Market Street for a distance of 15m (no change from original proposal).

#### 44. SECTION 119 HIGHWAYS ACT 1980 – DIVERSION OF FOOTPATH ASHTON-UNDER-LYNE 139

The Assistant Executive Director, Environmental Services, submitted a report seeking authority to make an order under Section 119 Highways Act 1980 to divert a public right of way to make it more commodious for the users.

It was explained that Public Footpath Ashton-under-Lyne 139 (ASH/139) ran from Mill Brow in the Park Bridge area to Fields Farm on Lees Road in Ashton-under-Lyne. The footpath in part, ran through the Rocher Vale site which was managed by the Council's Operations and Greenspace Section. The footpath formed part of the Tameside Trail promoted route.

Members were informed that one section of Footpath ASH/139, as it passed through Rocher Vale, ran alongside a natural watercourse. In periods of very wet weather, this watercourse drained a large area of farm land and the resulting flow of water was eroding the embankment upon which Footpath ASH/139 ran.

The erosion of the embankment had led to the public footpath now running in part on an overhanging piece of land. Officers from the Operations and Greenspace service reported this issue as potentially dangerous for the users and as a result, the footpath was currently subject to a temporary closure.

It was considered that in order to re-open the footpath and to address the potential danger, the most effective solution was to divert part of Footpath ASH/139 to a parallel alignment that was further from the eroding path edge.

The proposed diversion was detailed in **Appendix A** to the report.

It was reported that the landowner and tenant farmer for the agricultural land had been contacted and they were both in agreement with the proposed diversion. The conditions requested by the tenant farmer was that all new fencing works and barriers were installed to a high standard and at the expense of the Council. The Council would use existing budgets from Public Rights of Way to meet the full costs involved in the diversion procedure as well as the costs incurred in bringing the new path into a fit condition for use by the public.

The public rights of way organisations that operated in the Tameside area had been given the opportunity to comment on the proposed diversion. No objections had been received from them during the period.

Discussion ensued with regard to the proposed diversion of the footpath and it was:

**RESOLVED**

**That the order be made to divert Footpath Ashton-under-Lyne 139, as indicated on the plan attached to the report, and that the Borough Solicitor be authorised to take the necessary steps to implement this decision.**

**CHAIR**

## **Application Number 16/00533/FUL**

<b>Proposal</b>	Retrospective planning permission for 2 no semi detached houses to regularise height difference with neighbouring property and alternative roof design
<b>Site Location</b>	87 Town Lane, Denton
<b>Applicant</b>	Mr P Eade
<b>Recommendation</b>	Grant Planning permission subject to conditions
<b>Reason for report</b>	The Head of Planning has chosen not to exercise delegated powers and instead present the item to speaker panel for determination due to level of local interest in the application

## **REPORT**

### **1.0 Application Description and Background**

- 1.1 In 2014 the Council granted planning permission for two new homes on this site under application 14/00721/FUL. These homes were designed as a pair of semi-detached properties and were approved with a mansard style roof.
- 1.2 In 2016 the houses were constructed and at this point the Council received complaints from local residents that the houses had not been constructed in accordance with the approved plans. Upon investigation, two issues were revealed.
- 1.3 Firstly the originally submitted drawings were found to have been inaccurate and had shown the roof of the neighbouring property to be much higher than was actually the case.
- 1.4 Secondly the roof to the new build homes had been enlarged by increasing the height of the mansard section of the roof by 1.45m. This had been achieved through a combination of lowering the eaves and raising the height of the top of the mansard. Whilst the overall height of the ridge remained as permitted, the homes appeared to be much taller due to the error in representing the height of the neighbouring property on the originally permitted drawings. As a result the houses as constructed do not have planning permission.
- 1.5 Following on from the above, discussions took place with the Planning Enforcement team and the current application was submitted which seeks planning permission to regularise this development situation subject to further changes to the elevations to incorporate a gable style roof instead of the current mansard style roof.
- 1.6 At present the houses remain unoccupied until such time as this matter is resolved and during this period, there have been a number of issues at the site in terms of crime and anti-social behavior. The applicant is therefore keen to see this situation resolved and has committed to implementing these changes to the scheme quickly should planning permission be granted to marketing of the properties to commence.

## **2.0 SITE & SURROUNDINGS**

- 2.1 The application site is located to the corner of Town Lane and Merlyn Avenue in Denton and formerly contained derelict garages prior to the construction of the two new homes.
- 2.2 The site has good access to public transport with bus services running along Town Lane and the nearest bus stops are immediately outside of the site.

## **3.0 PLANNING HISTORY**

- 3.1 14/00721/FUL Demolition of garages and erection of 2 no semi-detached houses, permitted November 2014.

## **4.0 RELEVANT PLANNING POLICIES**

- 4.1 Tameside Unitary Development Plan (UDP) Allocation Within Settlement Boundary

### **4.2 Tameside UDP**

#### **4.2.1 Part 1 Policies**

- 1.3: Creating a Cleaner and Greener Environment.
- 1.4: Providing More Choice and Quality Homes.
- 1.5: Following the Principles of Sustainable Development
- 1.12: Ensuring an Accessible, Safe and Healthy Environment

#### **4.2.2 Part 2 Policies**

- H2: Unallocated Sites.
- H7: Mixed Use and Density.
- OL10: Landscape Quality and Character
- T1: Highway Improvement and Traffic Management.
- T11: Travel Plans.
- C1: Townscape and Urban Form
- N4: Trees and Woodland.
- N5: Trees Within Development Sites.
- N7: Protected Species
- MW11: Contaminated Land.
- U3: Water Services for Developments

#### **4.3 Other Policies**

- 4.3.1 Greater Manchester Spatial Framework – Publication Draft October 2016  
The Greater Manchester Joint Waste Development Plan Document April 2012  
The Greater Manchester Joint Minerals Development Plan Document April 2013  
Residential Design Supplementary Planning Document  
Trees and Landscaping on Development Sites SPD adopted in March 2007.

#### **4.4 National Planning Policy Framework (NPPF)**

- 4.4.1 Section 1 Delivering sustainable development  
Section 6 Delivering a wide choice of high quality homes  
Section 7 Requiring good design  
Section 8 Promoting healthy communities

#### **4.5 Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

#### **5.0 PUBLICITY CARRIED OUT**

5.1 As part of the planning application process 20 notification letters were sent out to neighbouring properties on 1<sup>st</sup> July 2016 and again on 7<sup>th</sup> April 2017.

#### **6.0 RESPONSES FROM CONSULTEES**

6.1 Environmental Protection: No objections

6.2 Highways: No objections subject to conditions to provide and retain parking & access.

#### **7.0 SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

7.1 In response to the original notifications 3 objections have been received from 3 addresses together with a petition bearing 18 signatures, the grounds given for objecting are:

- Height excessive and roof / design at odds with surroundings
- Detrimental to visual amenity / street scene
- Overshadowing
- Overlooking

7.2 2 letters of support were also received from 2 different addresses in relation to the originally submitted plans commenting;

- Enhance the local area with modern housing
- No concerns about height or design of roof

7.3 In response to the amended plans 3 objections have been received from 3 addresses, one of which bears the names and countersignatures from 18 people at 13 addresses, the grounds for objecting are;

- Amendments do not address concerns regarding height and character
- Parking
- Highway / pedestrian safety issues
- Excessive amount of rendering

#### **8.0 Assessment**

8.1 The principal issues in determining this application are:

- Principal of development
- Layout & Design
- Amenity

## **9.0 Principle of development**

- 9.1 The principle of residential development was established by the grant of planning permission for residential development in 2014 where the redevelopment of a former garage site on previously developed land was found to be acceptable. The previous consent for the development was also for two houses of identical footprint but with a different roof design.
- 9.2 In dealing with the current application, there are deemed to be three principle considerations which need to be considered. These are;
- Impact of the changes to the height and design of the homes
  - The impact on residential amenity as a result of the changes
  - Highway Safety regarding the layout and car parking provision

These matters are dealt with in turn below.

## **10.0 Changes to Height & Design**

- 10.1 In terms of the assessing this issue, the key policy for consideration is RD22: Infill & Backland Sites which requires development proposals to ensure they do not harm the existing character of an area and retain adequate outdoor amenity space, parking and access.
- 10.2 The current proposals would be the same overall ridge height as the previously approved scheme but with an amended design proposed to create twin, front-facing gables and a single gable on the rear elevation. It is considered that these changes would be beneficial in terms of ensuring that the design better reflects the vernacular of the local area and, despite being additions to the roof space, would serve to reduce the apparent bulk and mass of the roof particularly when viewing the gable end from the street scene. Levels of rendering to the property are also considered to be acceptable in design terms in this location.
- 10.3 The revised design is therefore considered to be an improvement on both the previously approved and built out schemes and as such the proposal would be considered to meet the requirements of policy RD22 of the Council's residential design guide and policy H10(a) of the UDP.
- 10.4 In terms of layout the rear garden areas for the proposed dwellings are small, but no smaller than previously approved. Parking is made available for a single car for each house compared with a car parking space and a garage, however, this is considered acceptable for a 2 bed property in a sustainable location and the proposals are considered to be compliant with UDP policies RD22 and HOU10(b).

## **11.0 Amenity**

- 11.1 In terms of amenity this was assessed as being acceptable with regard to the previously approved scheme. Whilst the design of the roof is proposed to change this would not have any greater impact upon the amenities of neighbouring properties and the proposals would have no greater impact than the previously approved scheme and in this respect the proposals are considered compliant with policy H10 (a) of the UDP.

## **12.0 Highways Safety**

- 12.1 Whilst matters of highways safety are raised by neighbours, the design and position of the access is identical to that previously approved and it is not considered that any new issues of highway safety are raised by the proposals.
- 12.2 Ultimately, the Council's Highway Engineer has no objections to the proposal and it is not considered that there are any grounds to refuse the application on the basis of the minor changes to the proposed parking provision.

## 13.0 Conclusion

- 13.1 As planning permission has already been approved for the development of two new homes on this site, the key issue is whether the proposed changes to the approved scheme are considered to be acceptable.
- 13.2 In this respect, it is considered that the changes to the scheme are acceptable in terms of the revised height and design, layout of car parking and impact on residential amenity and would accord with planning policy. The grant of planning permission for the revised scheme would allow the completion of works at the homes to be finalised and occupied thus also resolving other concerns regarding problems with crime and anti-social behaviour at the site.
- 13.3 Should members reach a view that they do not accept the officer recommendation then it will also be important for members to consider the expediency of taking formal enforcement action against the current unauthorised development. In this respect, it would be critical for Members to set out very clear reasons why it is considered appropriate and expedient to take enforcement action in this instance having particular regard to the fact that the applicant would be likely to appeal any refusal of planning permission and the serving of any enforcement notice.

## RECOMMENDATION

To grant planning permission subject to the conditions set out below:-

1. The development shall be carried out in accordance with the following approved plans;
  - Proposed Elevations and Roof Plan Drawing no. 12a
  - Proposed Floor Plans and Site Plan Drawing no. 13
  - 1:1250 Location Plan licence number 100022432
2. During demolition/construction no work, including vehicle and plant movements, deliveries, loading and unloading, shall take place outside the hours of 07.30 and 18.00 Mondays to Fridays and 08.00 to 13.00 Saturdays. No work shall take place on Sundays and bank Holidays.
3. All hard and soft landscape works shall be carried out in accordance with the approved details shown on the 'Proposed Floor Plans and Site Plan Drawing no. 13' prior to the occupation of any part of the development. Any newly planted trees or plants forming part of the approved landscaping scheme which, within a period of 5 years from the completion of the planting, are removed, damaged, destroyed or die shall be replaced in the next appropriate planting season with others of similar size and species by the developer unless the Local Planning Authority gives written consent to any variation.
4. A clear view shall be provided on both sides of the site access where it meets the footway in Merlyn Ave. It shall measure 2.4metres along the edge of the site access and 2.4 metres along the footway. It must be clear of anything higher than 600mm above the access, except for vertical iron railings to a design that includes rails of not greater than 15mm diameter spaced at not less than 100mm intervals.
5. The roof shall be finished using Marley modern grey roof tiles unless otherwise agreed in writing with the local planning authority.
6. The development shall be carried out in full accordance with the approved plans and completed within 6 months of the date of this permission.
7. Prior to occupation of the dwelling houses, the car parking indicated on the approved plan shall be provided and be available for use in accordance with the approved plans. It shall

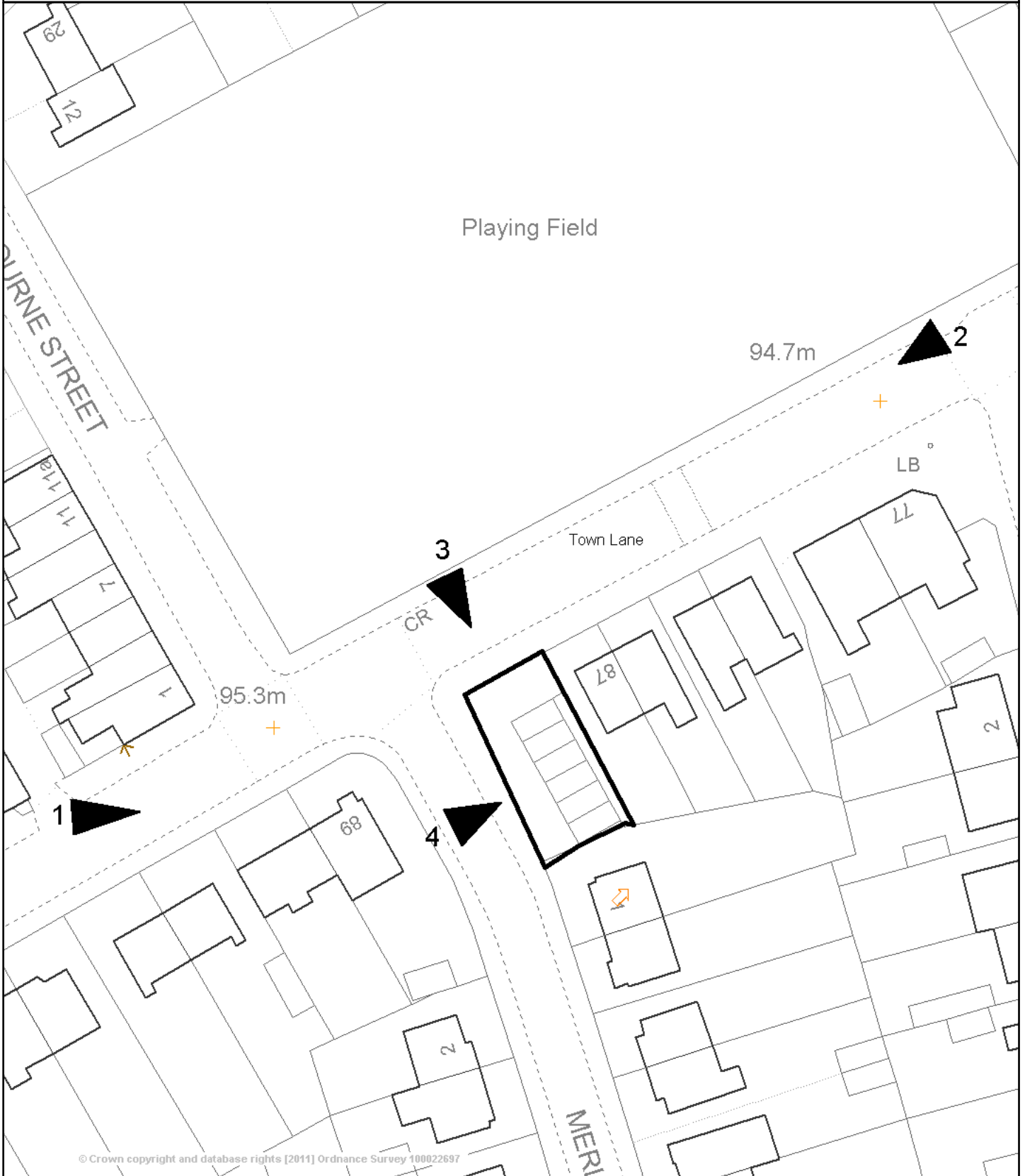
thereafter kept unobstructed and available for its intended purpose and shall be maintained and kept available for the parking of vehicles at all times.

8. The development hereby approved shall not be occupied/brought in to use until the road works and traffic management measures necessary to secure satisfactory access to the site have been completed in accordance with details which have first been submitted to and approved in writing by the local planning authority.

The reasons for the conditions are:

1. To define the permission and for the avoidance of doubt
2. To protect the amenities of occupants of nearby dwelling houses in accordance with UDP policies 1.12 and H10.
3. In the interests of the character and appearance of the area.
4. To allow users of the site access and highway to see each other approaching
5. To safeguard the character and appearance of the area.
6. To safeguard the character and appearance of the area.
7. To ensure adequate car parking arrangements.
8. To secure the provision of satisfactory access to the site and in the interests of road safety.



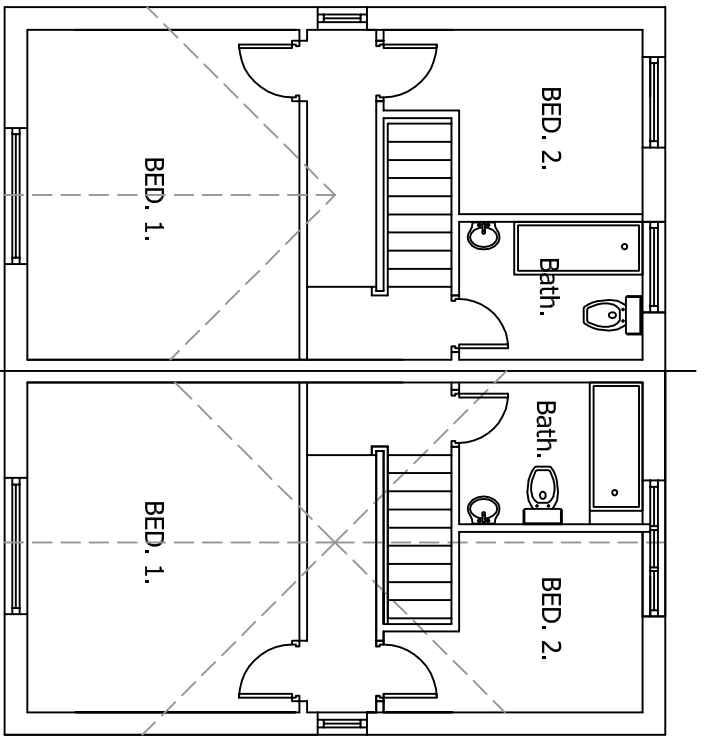
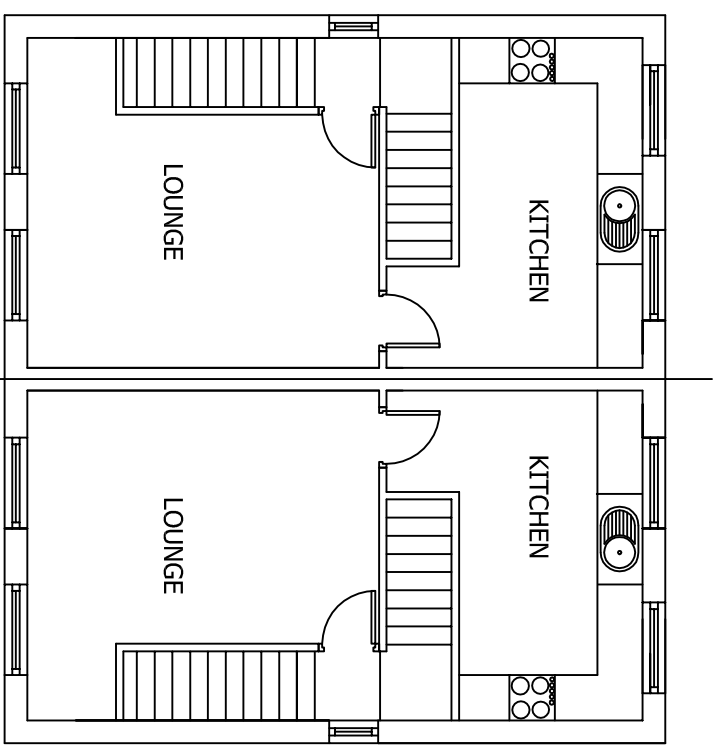
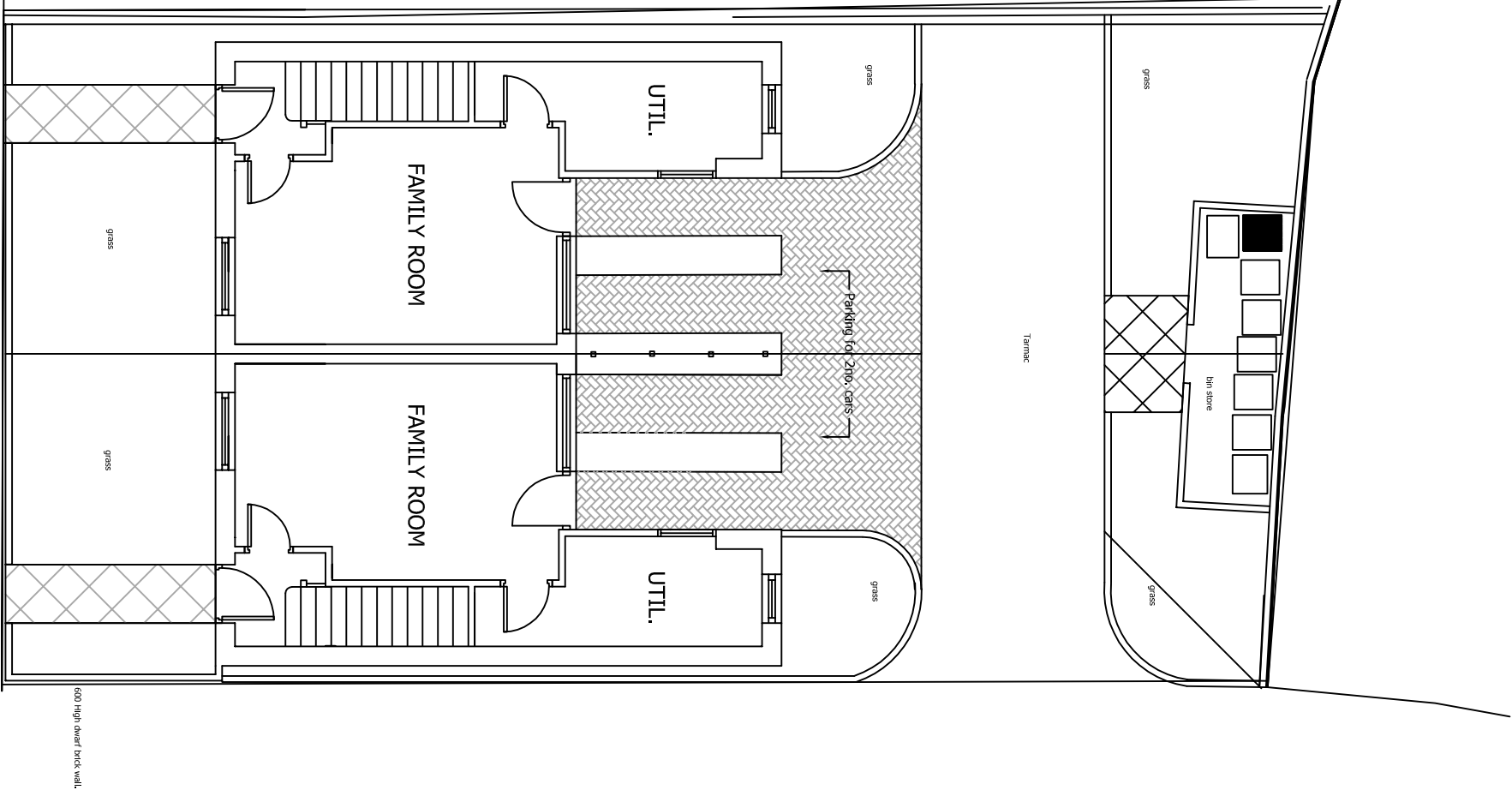


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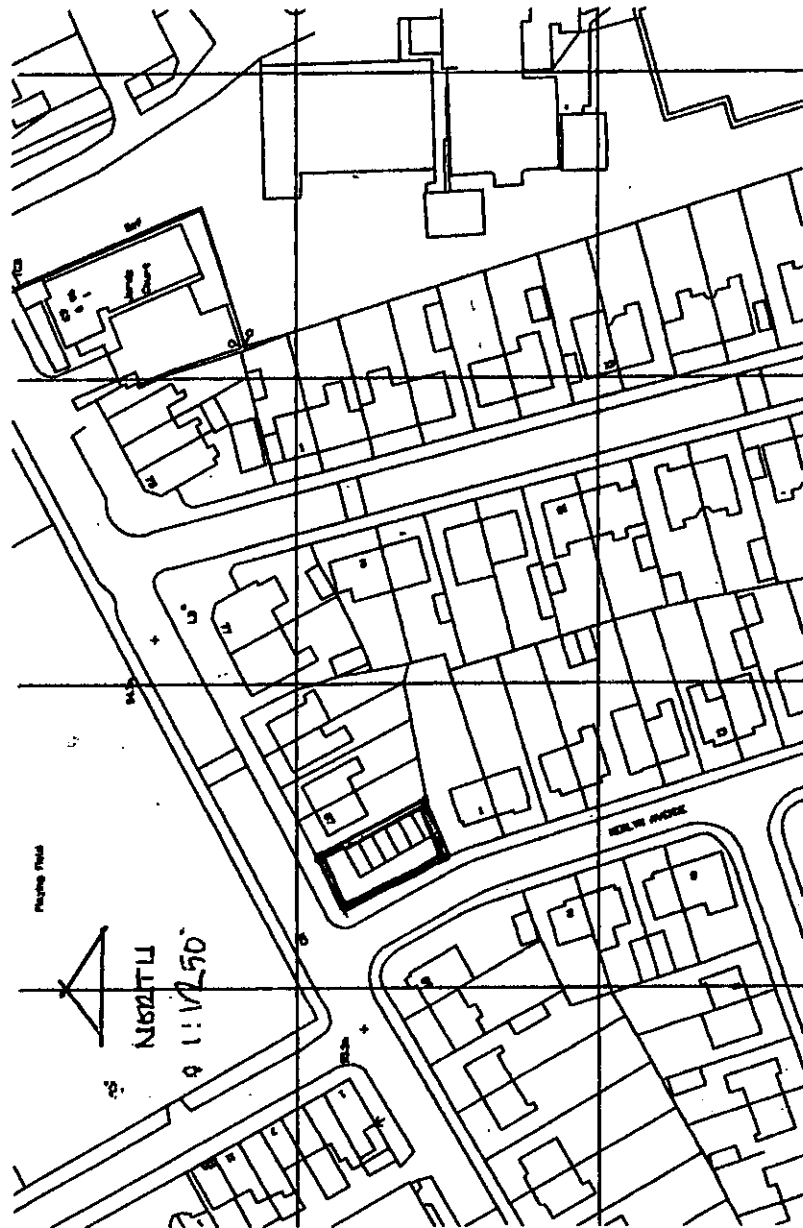


GROUND FLOOR and SITE PLAN

FIRST FLOOR PLAN

SECOND FLOOR PLAN

Client : P.EADE		Scale	Drawing
Project : 87A & 87B Town Lane		See figured dims	
Denton		Date	13
Date 02/17		Drawn	
Drawing: Floor Plans as proposed			



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Application Number: 16/00533/FUL

Photo 1



Photo 2



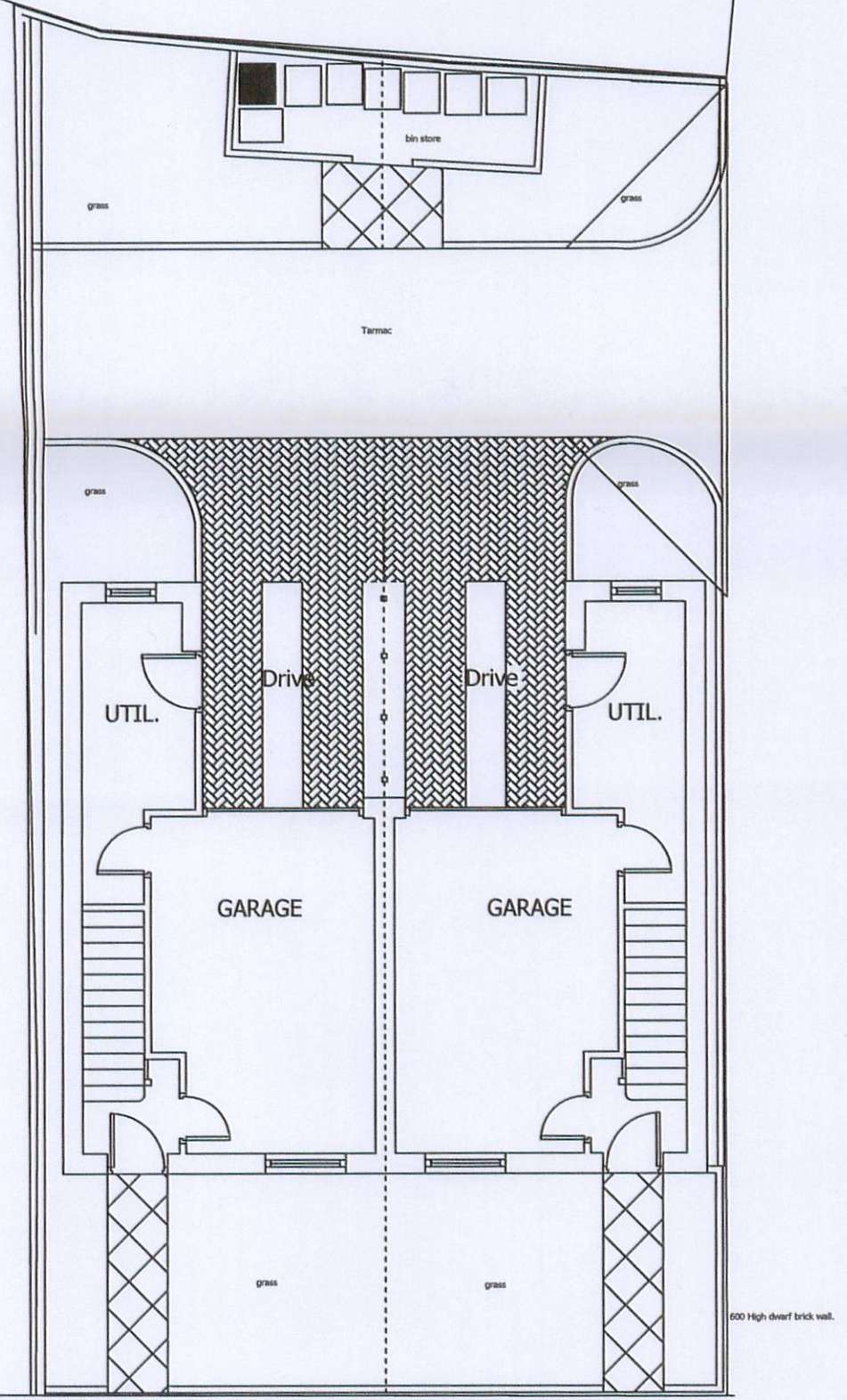
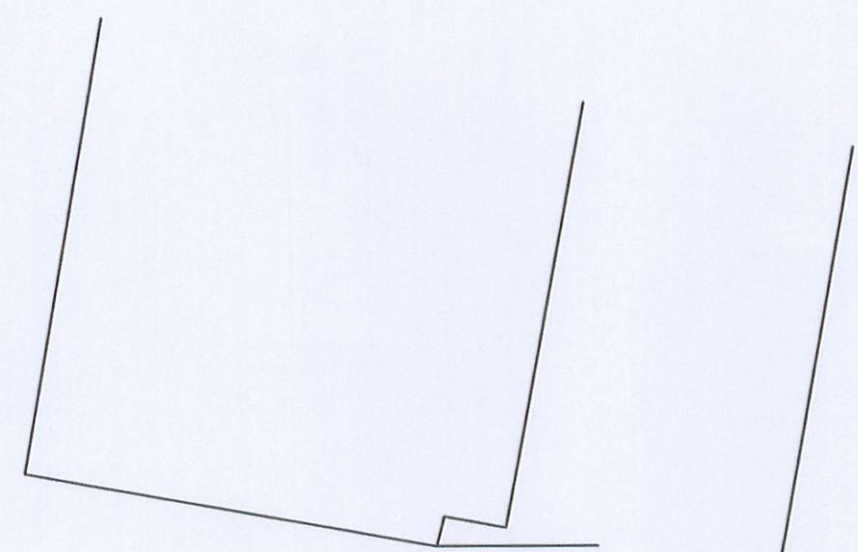
**Photo 3**



**Photo 4**





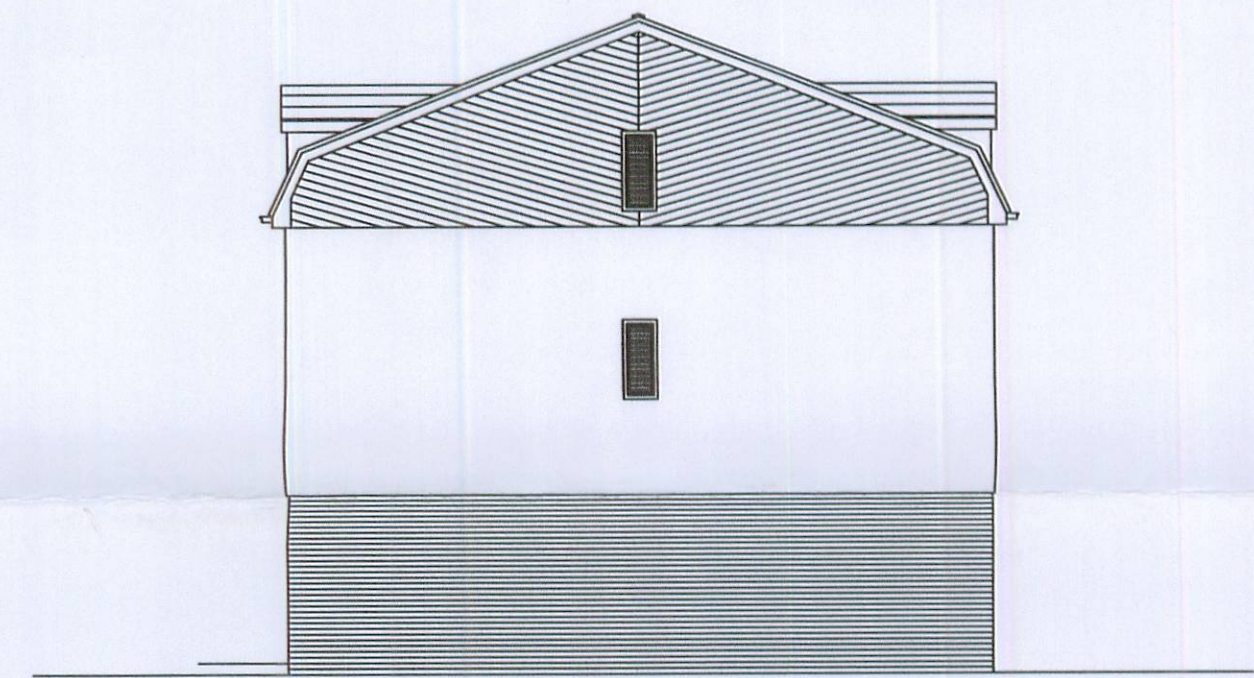


GROUND FLOOR and SITE PLAN

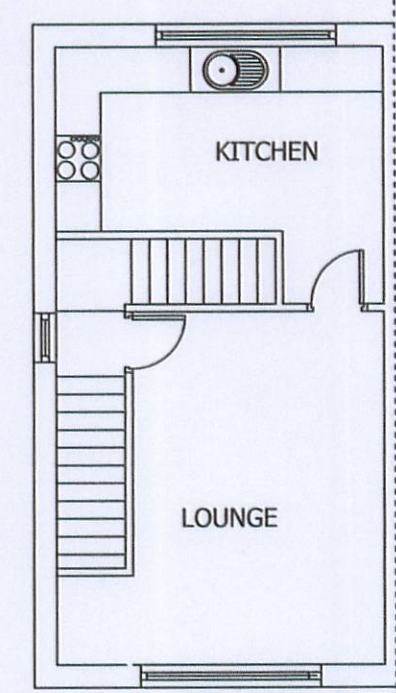


FRONT ELEVATION

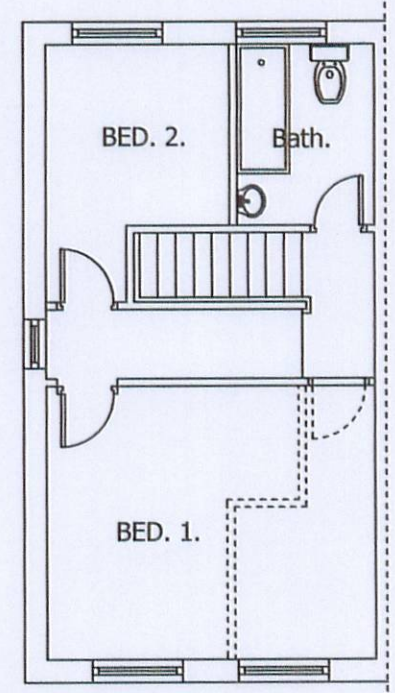
WALLS : To be constructed using good quality red brown facing brickwork off white sand/cement render and natural cedar boarding.  
ROOF : To be constructed using dark grey interlocking concrete roof tiles.  
WINDOWS : Grey uPVC.  
DOORS : Grey uPVC.  
New drainage connections to be made into adjacent existing main sewer.



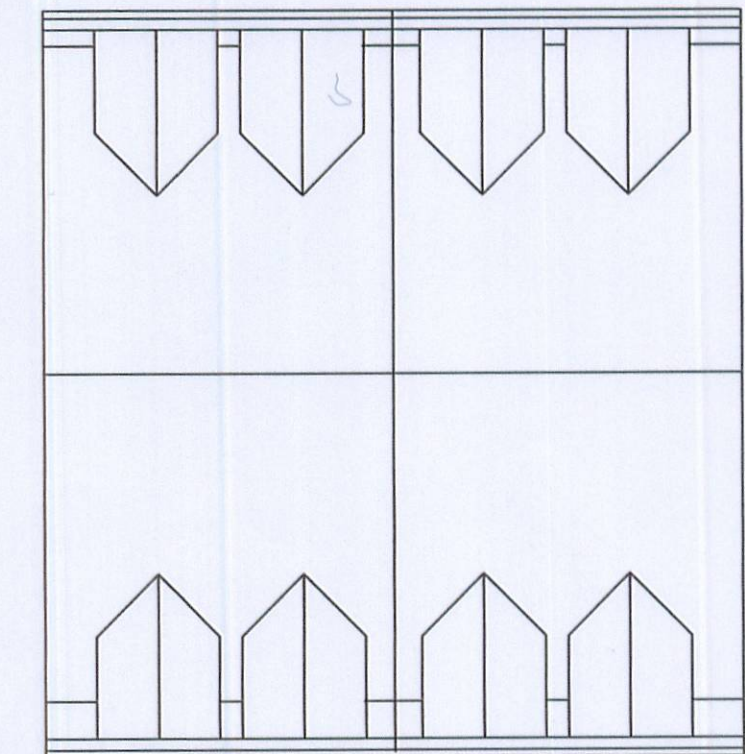
SIDE ELEVATIONS



FIRST FLOOR PLAN



FIRST FLOOR PLAN

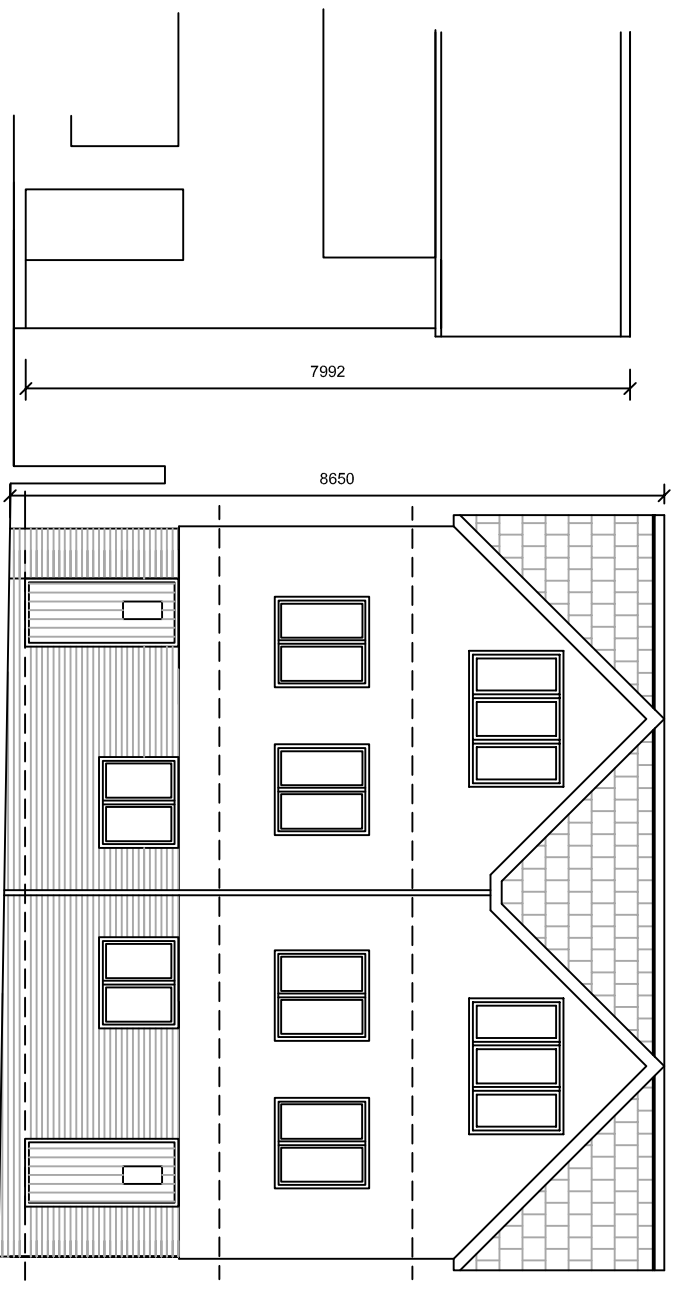


ROOF PLAN

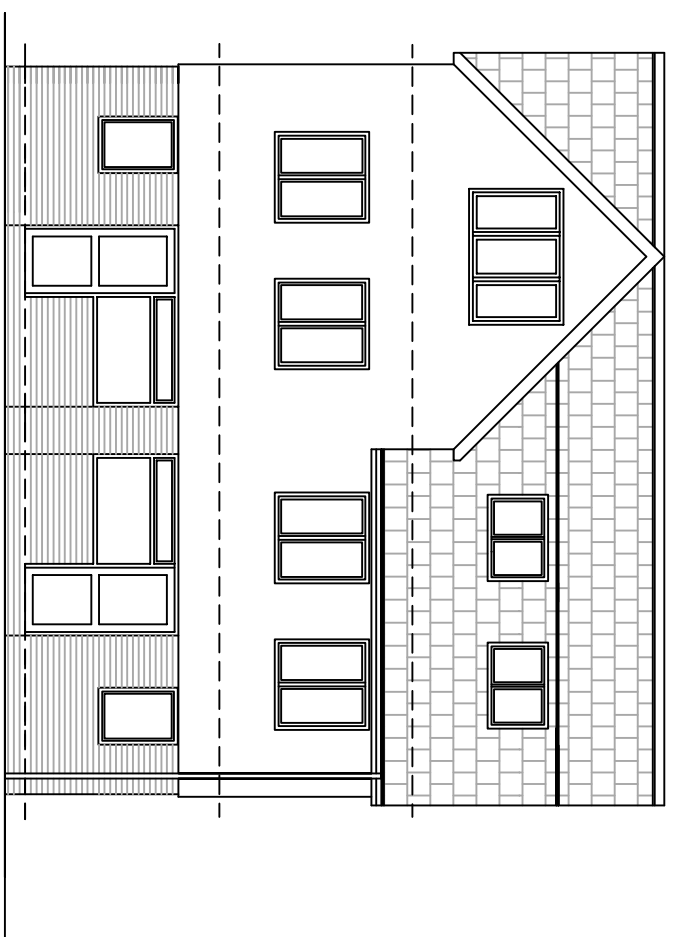
Client : P. Eade		
Project : 87A & 87B Town Lane Denton	Scale 1:1000A1	Contract No. 1979-03
Drawing: plans + elevs as proposed	Date 05/14	Drawn ps
PETER SUMMERSGILL MCIAT		Architectural & Design Consultant Technicians
© Cote Green Road Mingle Ridge Stockport SK5 5EW		Tel & Fax 0161 427 8776 Mobile 07971 458 730

87

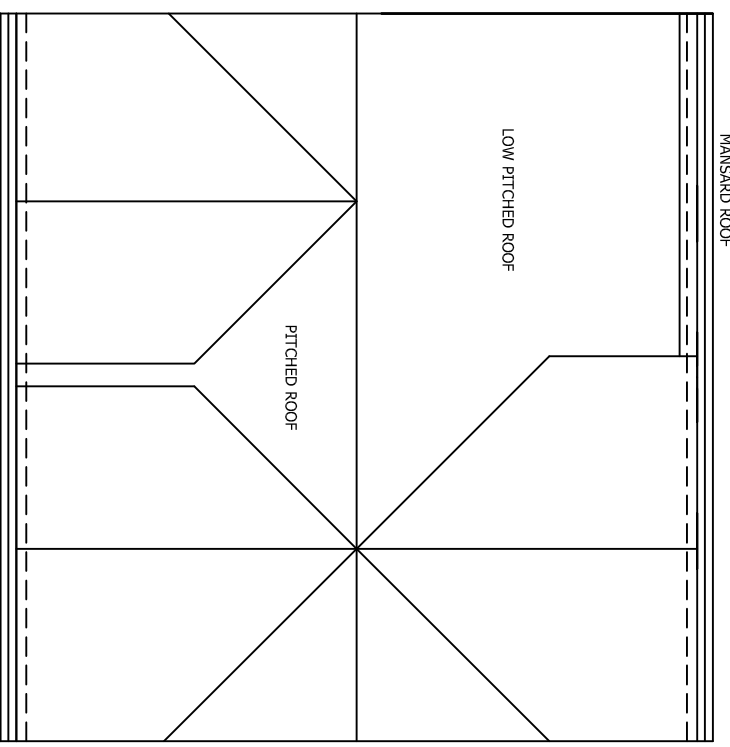




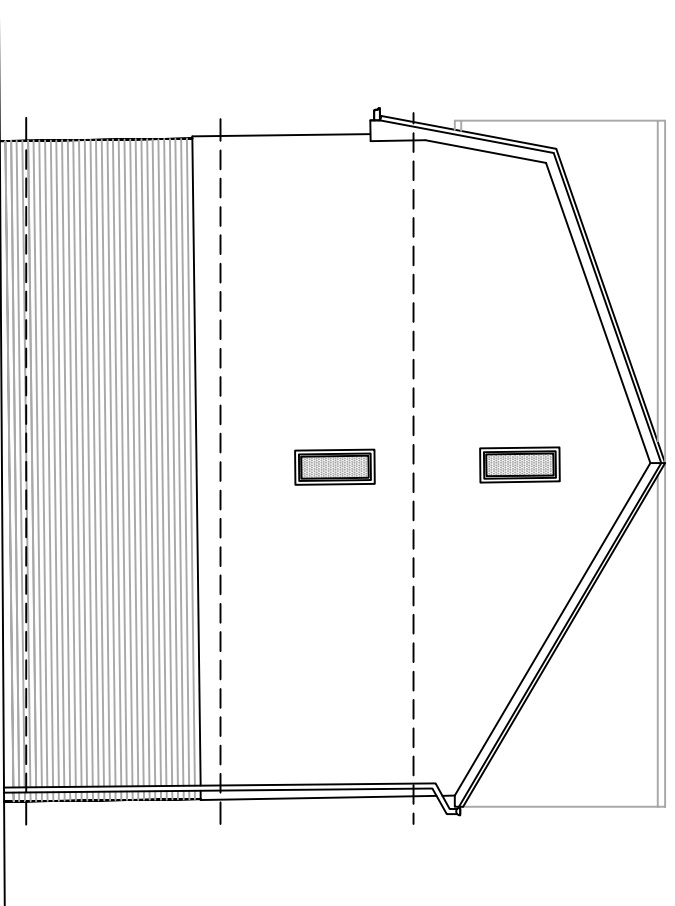
FRONT ELEVATION



REAR ELEVATION

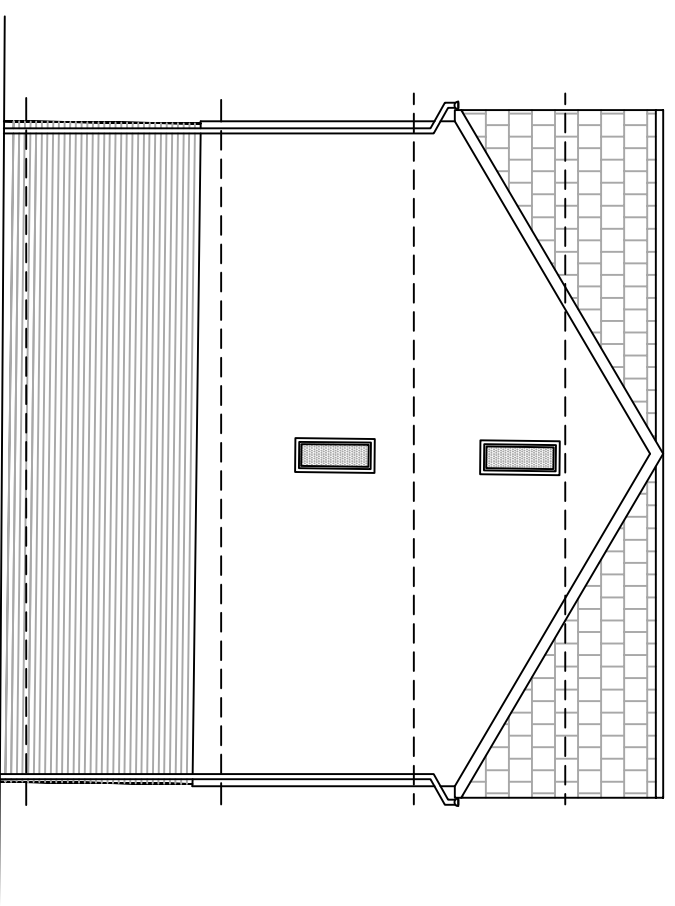


ROOF PLAN



SIDE ELEVATION to no. 87.

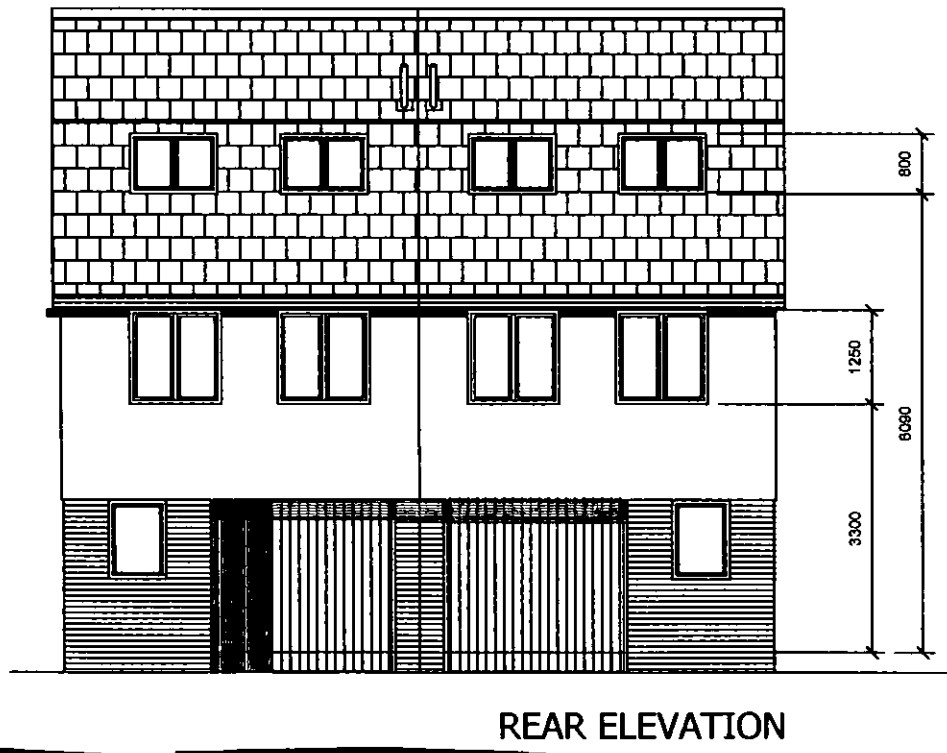
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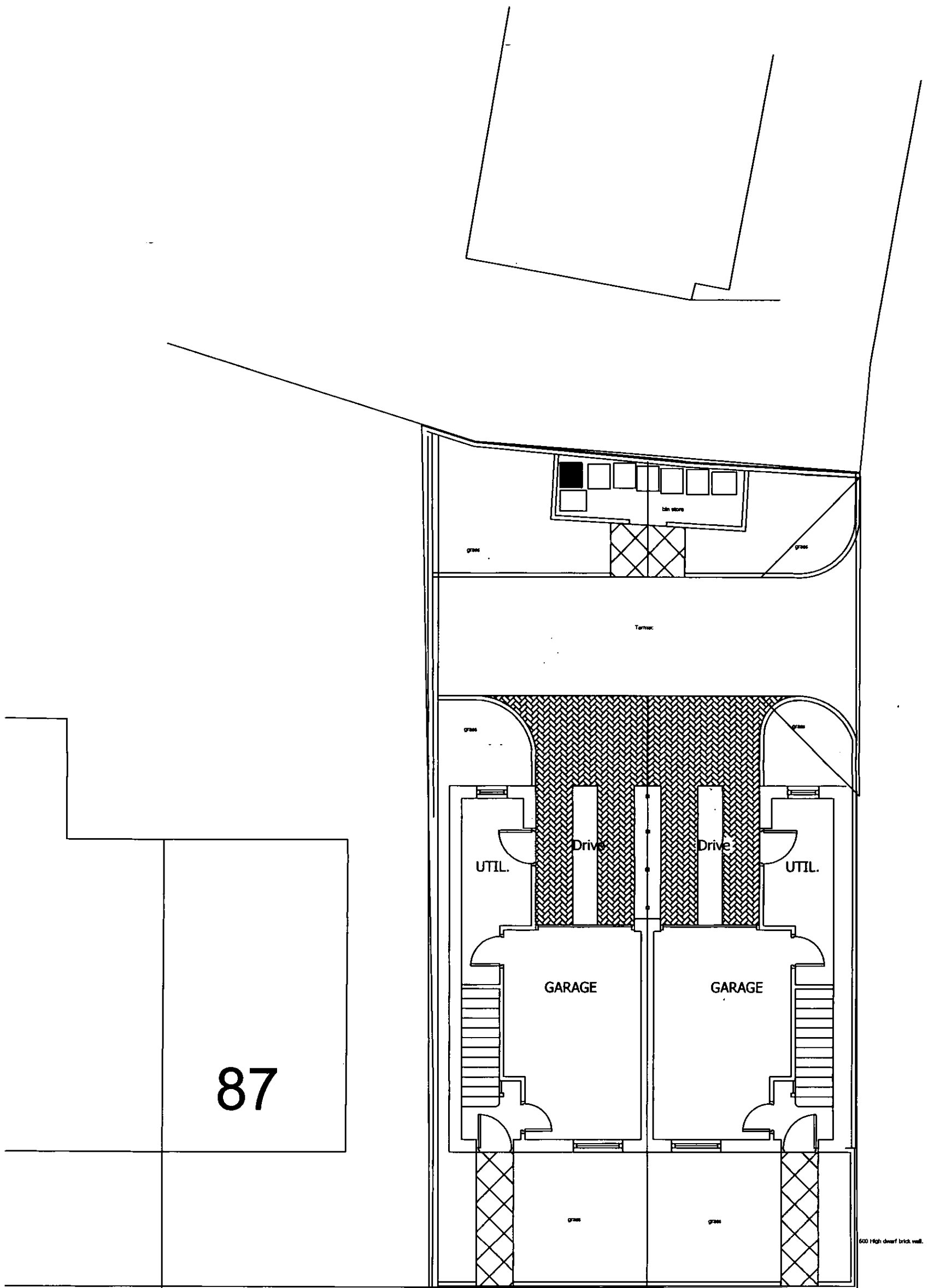
SIDE ELEVATION to Merlyn Avenue

Rev A: Drawing update for Planning – 21.02.17

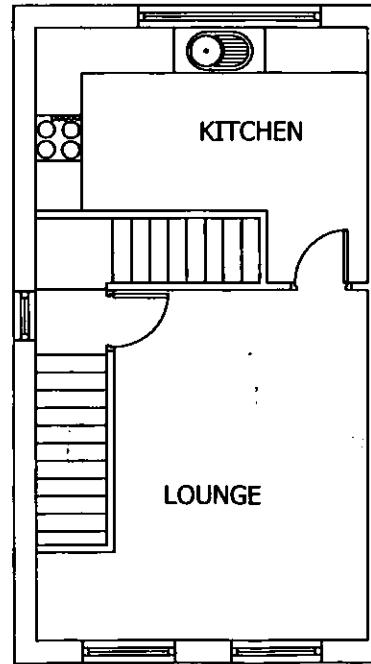
Client : P.EADE		Scale	Drawing
Project : 87A & 87B Town Lane		See figured dims	
Denton		Date	12A
Drawing: Roof Plan + elevs as proposed		02/17	
		Drawn	



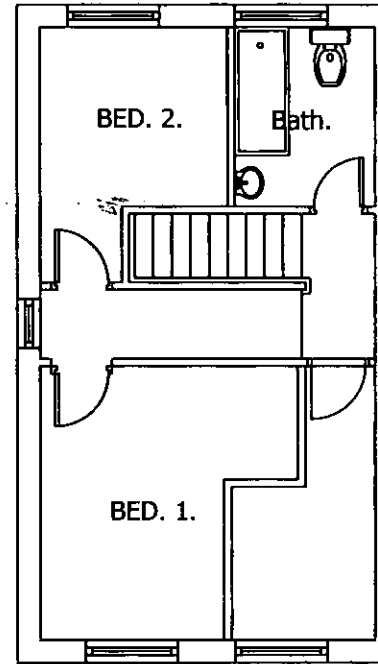




GROUND FLOOR and SITE PLAN



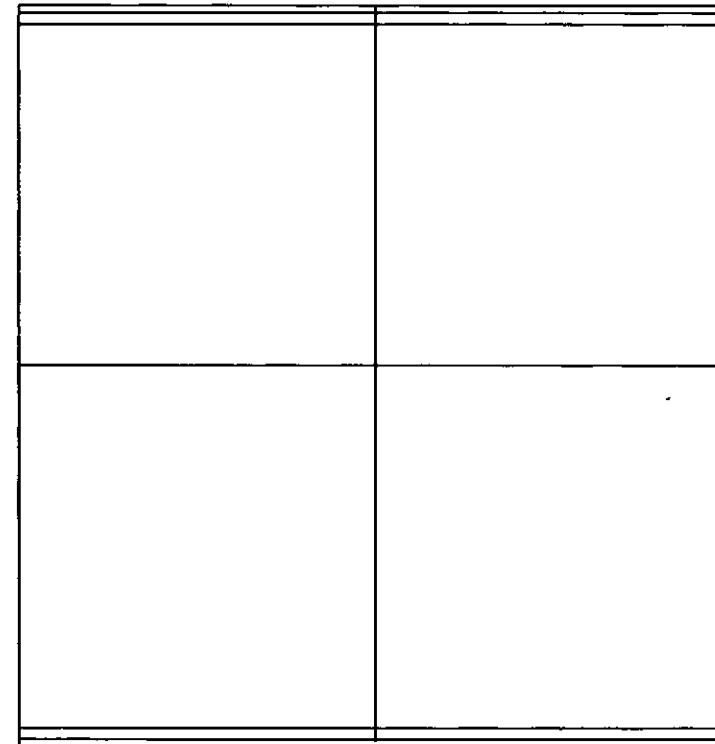
FIRST FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATIONS



ROOF PLAN

Client: P. Eade		
Project: 87A & 87B Town Lane Denton	Scale: 1:1000A1	Contract No. 1979-04
Drawing: plans + elevs as proposed	Date: 05/16	Drawing: 04
	Drawn: pe	

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**Application Number 16/00766/REM**

**Proposal**                    **Erection of 35 houses - Reserved matters including access, layout, scale, appearance and landscaping**

**Site Location**              Former Site of Carr Hill Mills Manchester Road, Mossley, Tameside

**Applicant**                    Bowdon Homes

**Recommendation**       Grant Reserved Matters Consent subject to conditions

**Reason for report**       A Speakers Panel decision is required because the application proposes a major development, as defined by The Town and Country Planning (Development Management Procedure) (England) Order 2015.

## **1.0 REPORT**

1.1 This application seeks consent for the reserved matters to redevelop the application site for a residential development comprising of 35 dwellings with detailed approval for means of access, layout, scale, appearance and landscaping.

1.2 A previous outline consent was granted in April 2014 on site for the development of 35 units and the proposed scheme is for 35 houses comprising of 27 no. three-bedroom and 7no. houses with four or more bedrooms.

1.3 The materials proposed for the properties will be buff coloured split faced stone with grey slate style roof and grey colour window surrounds and entrance doors with stone lintels and cills.

1.4 Vehicular access is proposed from Three Counties Road using the existing access point and the submitted plan shows private in curtilage parking for each property. A separate pedestrian access is proposed directly off Manchester Road.

1.5 The application has also been supported by a comprehensive suite of supporting assessments and documentation. These include: -

- Geo-Environmental Site Assessment
- Flood Risk Assessment
- Sustainability Statement
- Design and Access Statement
- Ecological Site Assessment
- Arboricultural Report
- Drainage report

## **2.0 SITE & SURROUNDINGS**

2.1 The application site comprises of 0.9ha of previously developed land and was formally occupied by Carr Hill Mill a former industrial mill which occupied the north east of the site and was demolished due to structural instability following a major collapse of the building in 2008.

2.2 Manchester Road bounds the site to the north west, there is a row of three storey terrace houses and a pond to the north of the site and the Woodend Mill complex lies to the north east of the site. The River Tame runs along the eastern edge of the site and the Three

Counties housing estate lies to the south of the site. The site is relatively flat but does contain some building remains and piles of rubble and spoil. There are trees and bushes surrounding the site which are dense and overgrown along the river bank

- 2.2 The character of the surrounding area is largely determined by its position on the fringe of Mossley Town Centre but comprising mixed residential and industrial uses with areas of open land along the river.
- 2.3 In terms of topography, the land slopes from Manchester Road down towards the River Tame the level difference being in the region of 5-6m.
- 2.4 The main access to the site is from Three Counties Road via a traffic light junction off Manchester Road.
- 2.5 The site is located within 0.6km of Mossley Railway Station providing regular intercity services to Greater Manchester and Liverpool to the west and Leeds to the east. The site is within 200m of the nearest primary school and close proximity to a wide range of shops, services and facilities.

### **3.0 PLANNING HISTORY**

- 3.1 The site had outline planning consent granted in April 2014 by application 13/00856/OUT for Erection of 35 houses - OUTLINE (All Matters Reserved) subject to a 106 agreement of £657.32 per unit for Greenspace improvements and Education contributions of £289.23 per 1 bed, £901.74 per 2 bed, £1259.58 per 3 bed and £1381.24 for 4 (or more) bedrooms.

### **4.0 RELEVANT PLANNING POLICIES**

Tameside Unitary Development Plan (UDP) Allocation  
Development Opportunity Area

#### **Tameside UDP**

##### **Part 1 Policies**

- 1.3: Creating a Cleaner and Greener Environment.
- 1.4: Providing More Choice and Quality Homes.
- 1.5: Following the Principles of Sustainable Development
- 1.12: Ensuring an Accessible, Safe and Healthy Environment

##### **Part 2 Policies**

- E2(7): Development Opportunity Areas - Mossley Mills/Manchester Road, Mossley.
- H7: Mixed Use and Density.
- T1: Highway Improvement and Traffic Management.
- C1: Townscape and Urban Form
- N4: Trees and Woodland.
- N5: Trees Within Development Sites.
- N1b: National Nature Conservation Sites
- N7: Protected Species
- OL7 Potential of Water Areas
- OL9 Derelict Land Reclamation
- OL10 Landscape Quality and Character
- OL15 Openness and Appearance of River Valleys
- MW11: Contaminated Land.
- U3: Water Services for Developments

### **Other Policies**

The Greater Manchester Joint Waste Development Plan Document April 2012  
The Greater Manchester Joint Minerals Development Plan Document April 2013  
Residential Design Supplementary Planning Document (adopted)  
Trees and Landscaping on Development Sites SPD adopted in March 2007.

### **National Planning Policy Framework (NPPF)**

Section 1 Delivering sustainable development  
Section 4 Promoting sustainable transport  
Section 6 Delivering a wide choice of high quality homes  
Section 7 Requiring good design  
Section 8 Promoting healthy communities  
Section 10 Meeting the challenge of climate change, flooding and coastal change

### **Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

## **5.0 PUBLICITY CARRIED OUT**

- 5.1 As part of the planning application process 41 notification letters were sent out to neighbouring properties on 6 September 2016. A notice was also posted at the site on the 1<sup>st</sup> September and displayed in a local newspaper on 8<sup>th</sup> September 2016. Additional notification letters were sent on the 5<sup>th</sup> April 2017 following the submission of revised plans.

## **6.0 RESPONSES FROM CONSULTEES**

### **Arboricultural Officer**

Proposals indicate a number of good amenity value trees to be removed. The proposed plans indicate adequate replacement planting to be incorporated into the scheme. A detailed landscape plan and schedule should be submitted for approval.

### **Environment Agency**

Initially objected due to lack of satisfactory FRA but the submitted revised details are satisfactory and objection removed subject to conditions as detailed in the mitigation measures as set out in the Flood Risk Assessment (FRA) Technical notes dated 24<sup>th</sup> April 2017 being secured by way of conditions relating to site levels, finished floor levels, permitted development rights, surface water drainage and details of biodiversity along the river buffer zone.

### **United Utilities**

No objection to the proposed development subject to conditions requiring details of foul and surface water drainage being attached to any approval.

### **Greater Manchester Ecology Unit**

The submitted Ecology report Habitat Survey was undertaken within the optimum period for such a survey to be carried out. The best practice measures recommended must be carried and out and recommend conditions and informatives on the following matters, protection of bat roosts, no tree felling in bird nesting season, control of invasive species and biodiversity enhancement.

### **Head of Environmental Services - Environmental Health**

Contaminated Land: recommend that a standard contaminated land condition is attached to any planning approval granted for residential development at the site and recommend standard conditions about hours of working.

### **Head of Environmental Services - Highways**

Raise no objections subject to conditions.

## **6.0 SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

### **Mossley Town Council**

Whilst not formally objecting to the proposed development, the Town Council express serious concern about the effect this and increasing residential development in the Mossley area in general will have on the existing infrastructure in the Town. The Town Council expressed particular concern that additional residential development will exacerbate the existing shortage of education provision in the Town.

In response to the original notifications 1 objection has been received from a neighbouring property and no additional letter was received as a result of the re-consultation process. The following comments were raised.

It has concerns regarding the entrance to this new site, and feel that it needs its own separate entrance off Manchester Road rather than using the entrance that was designed and created for the development on Three Counties Road. This entrance (built by Barrett's 10 years ago) has also since been used for a further development off Three Counties Road and is the only entrance for all of the properties on the Waters Edge estate (via Three Counties Road) for which the traffic is already very high at peak times. This is a family area and creating traffic congestion is not desirable. There does appear to be an opportunity to make the entrance for this development to be directly off Manchester Road in its own right.

## **7.0 ASSESSMENT**

The principal issues in determining this application are:

- o Principle of Development
- o Layout and Design
- o Amenity
- o Highway Safety and Accessibility
- o Ground Conditions and Retaining Structures
- o Ecology
- o Trees and Landscaping
- o Drainage, Flood Risk
- o Environmental Health
- o Other Matters

## **8.0 PRINCIPLE OF DEVELOPMENT**

8.1 The outline planning permission granted in 2014 remains extant and therefore the principle of residential development of this site has already been established. This application for reserved matters accords with the details in the outline consent.

8.2 The application is now therefore seeking detailed approval for the reserved matters. The issues relating to these reserved matters are discussed in more detail below.

## **LAYOUT AND DESIGN**

- 8.3 In terms of layout and design of the scheme the proposals are considered to be acceptable taking into account the site characteristics and relationships with surroundings. Fundamentally, the proposed layout of the scheme with a mixture of detached and semi-detached dwellings using the existing access point and a central access road, with areas of landscaping shown throughout the site and a buffer zone adjacent to the river means that the development of the site can be maximized whilst maintaining the floor levels and flood prevention measures required by the Environment Agency.
- 8.4 The density of housing delivered, approximately 39 dwellings per hectare, would accord with Policy RD5 of the Residential Design Guide SPD, which requires a minimum 30 dwellings per hectare.
- 8.5 In terms of scale and mass, it is also considered that the development is acceptable and would fit within the surrounding area, both the traditional properties on Manchester Road and the modern developments on the rest of the Three Counties Road estate.
- 8.6 The plans detail that the existing boundary retaining wall will be retained on the Manchester Road frontage, with a fence line behind the existing structure and then a retaining wall for the new properties within the proposed garden areas. Plans have been received showing a section with these levels on across the site. A condition is proposed requiring further detail of the existing boundary walls to ensure that the details of the proposed levels and retaining structure are adequately considered during the construction stage.
- 8.6 As set out in the previous section, the proposed palette of materials using buff coloured split faced stone with grey slate style roof and grey colour window surrounds and entrance doors with stone lintels and cills to create a modern property style would also result in a development which is sympathetic and compatible with the character of the locality but with interesting design features that would complement the character and appearance of the area in accordance with UDP and SPD policies and is acceptable.
- 8.7 In overall terms therefore, officers are satisfied that the proposals would complement the character and appearance of the area and comply with the design based policies C1 in the UDP and SPD and would accord with the relevant guidance contained within the NPPF and PPG.

## **RESIDENTIAL AMENITY**

- 8.8 In protecting the amenities of both future and existing occupiers of residential properties, minimum separation distances are required between buildings to help achieve this. Separation distances are considered to be necessary in cases where it is appropriate to ensure privacy due to overlooking of windows and gardens. The minimum separation distances are set out in SPD policy RD5 which also makes allowances for degree of angle, height of buildings and differences in site levels.
- 8.9 The policy confirms a minimum separation distance between habitable room windows on two storey developments of 21 metres where habitable room windows directly overlook. Added to this should be 3 metres for every additional storey and 1m for every 1m difference in ground level.
- 8.10 The closest residential properties are those on Manchester Road specifically 309 Manchester Road which has residential windows in the rear of the property overlooking the site. The nearest plot on the proposed site is no.24 and this is located some 5.5m from the existing property boundary. The blank 2 storey gable of plot 24 is proposed to be

10m from the rear windows of 309 Manchester Road, at an oblique angle away from the existing property. As such the position of the proposed dwelling accords with the requirements of policy RD5 of the adopted Residential Design SPD. The impact of the proposed dwellings should also be considered against the previous situation that the original Carrhill Mill building was at least 5 stories high in this part of the site with a significant bulk and Mass in close proximity to the Manchester Road properties and in consideration the proposed development represents a significant improvement in overshadowing and amenity then the previous mill complex to the occupants of neighbouring dwellings.

### **HIGHWAY SAFETY AND ACCESSIBILITY**

- 8.11 The site is located in an accessible location close to bus routes, the train station and local shops. The indicative layout shows 200% car parking provision across the site which is considered to be appropriate in this location given the mix of house types. As a result of this, it is not predicted that the amount of development proposed would have any significant impact on the local highway network. As the proposed layout is made of detached and semi-detached properties bin storage is able to be provided within the private curtilage of each property as they all benefit from direct access to the highway for collection.
- 8.12 In terms of highway safety, the proposed vehicular access via Three Counties Road will utilise an existing access point and is considered to be safe and satisfactory by the Head of Environmental Services – Highways.
- 8.13 Objections have been raised regarding the entrance to this new site and that the site should benefit from its own separate entrance off Manchester Road rather than using the entrance that was designed and created for the development on Three Counties Road as that it already takes enough traffic at peak times. When Three Counties Road development was first created the layout included the site entrance into the proposed site. The junction onto Manchester Road is traffic light controlled and the Councils highways engineers do not feel that the addition of 35 additional units would take the junction over capacity. It is also considered that an additional junction off Manchester Road in close proximity to the Three Counties Road junction would cause a danger to other road users.
- 8.14 Taking these factors into account, it is considered that the proposed development is acceptable in terms of access, highway safety and parking provision and the development complies with UDP Policies T1, T7, T10 and T11 as well as Section 4 of the NPPF.

### **GROUND CONDITIONS**

- 8.15 The submission has been reviewed by the Environmental Health - Contaminated Land team. Whilst there are some issues still to be addressed, no objections have been raised with regards to contaminated land subject to a contaminated land condition requiring further investigations to be undertaken and a detailed remediation strategy to be prepared.
- 8.17 Subject to these conditions, officers are satisfied that the requirements of the NPPF in terms of contaminated land can be addressed and the site developed without any unacceptable impacts on human health or controlled waters.
- 8.18 In this instance, the site is not in an area at risk from former coal workings and the development is acceptable in accordance with policy MW11: Contaminated Land.



## **ECOLOGY**

- 8.19 The application is accompanied by an Ecological assessment (undertaken in 2016) which has been considered as part of this application by the Greater Manchester Ecology Unit (GMEU) who agree that the assessment is appropriate in terms of the timings when it was carried out, the impact on the site and do not object to the scheme on ecological grounds. Both the assessment and GMEU however, recognise and highlight the opportunity for improving the natural habitat in this area which can be secured by condition.
- 8.20 The submitted Ecological assessment recommended that work is carried out in accordance with the submitted assessment in order to protect any birds and hedgehogs within the site and that lighting is specifically design so as not to affect the river tame corridor as a foraging and commuting route for bats. GMEU have confirmed these matters can be dealt with satisfactorily by condition and cover the requirements of the Wildlife and Countryside Act. Appropriate conditions are therefore proposed as part of the recommendation to members.
- 8.21 The proposals would not therefore have any adverse effect upon protected species and are thus in accordance with policy N7: Protected Species and the relevant guidance contained within the NPPF and PPG.

## **TREES AND LANDSCAPING**

- 8.22 The Council's tree officer has been consulted and comments that the proposals indicate a number of good amenity value trees to be removed. However as per the Arboricultural Report submitted, development would not be practical with all the trees retained.
- 8.23 The proposed plans indicate adequate replacement planting both within the site and along the site frontages to be incorporated into the scheme. It is considered that the submission of a detailed landscape plan and schedule should be agreed by condition to mitigate losses and ensure that the development accords with the requirements of policies N4 and N5.

## **FLOOD RISK AND DRAINAGE.**

- 8.24 As the application site falls within both draft flood zone 2 and 3 which is land having between 1 in 1000 and 1 in 100 greater annual probability of river flooding, it must be assessed against the requirements of the NPPF and the guidance regarding peak flow rates which aims to ensure that inappropriate development is avoided in areas at risk of flooding which has been demonstrated through this process.
- 8.25 In this regard, the Environment Agency objected to the proposals as the Flood Risk Assessment (FRA) initially submitted with the application did not comply with the requirements set out within the National Planning Policy Framework and associated guidance and also failed to take the impacts of climate change into account in setting finished floor levels or to consider appropriate mitigation measures to mitigate against fluvial and pluvial flooding. The Environment Agency also requested additional cross-sections to demonstrate that the proposed properties boundary fence is located outside the 8 metres easement from the top of the bank.
- 8.26 The applicants have now subsequently provided the additional information and updated assessments and calculations, these along with reducing the ground levels within the easement and removing any development from within the 8m easement along the River Tame (which will act as a water storage area in the result of a flood) and have resulted in

the Environment Agency withdrawing their objection subject to conditions including the removal of permitted development rights from within the area in flood zone 3 (plots 25-34).

- 8.27 In terms of the site drainage, United Utilities state they have no objection to the proposed development subject to conditions requiring further details of the foul and surface water drainage. No concerns have been raised regarding sewer capacity in the area.
- 8.28 In the absence of any technical objection the proposal is now considered to accord with policy U3 and the relevant guidance contained within the NPPF and PPG subject to satisfactory compliance with conditions.

### **OTHER MATTERS**

- 8.31 The Town Council raised concerns about the effect of this and other residential developments in the Mossley area on the existing infrastructure in the Town. It raised particular concern that additional residential development will exacerbate the existing shortage of education provision in the Town. The developer obligation is intended to overcome this by requiring monies towards education facilities in the local area.

### **9.0 CONCLUSION**

- 9.1 Outline planning permission was approved in 2014 and the application seeks approval of the reserved matters. These have been assessed and found to be acceptable it is therefore recommended that they are approved subject to the conditions.

### **10.0 RECOMMENDATION**

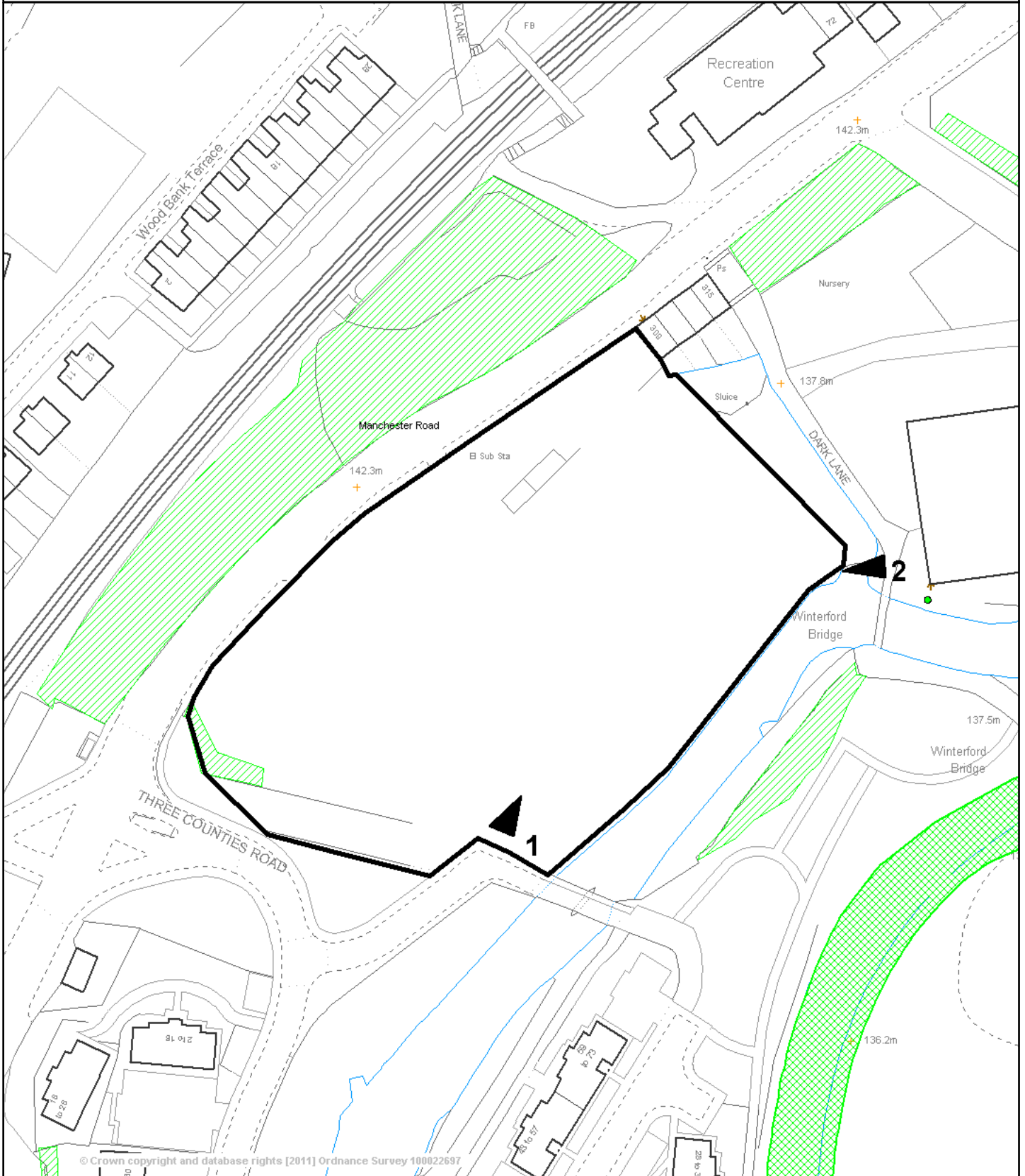
Grant planning permission subject to the following conditions.

1. No development, other than site clearance and site compound set up, shall be undertaken until such time until samples and/or a full specification of materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.
2. No development, other than site clearance and site compound set up shall be undertaken until precise details of the type, siting, design and materials of all boundary treatments shall be submitted to and approved in writing by the Local Planning Authority. The approved boundary treatments shall be fully completed in accordance with the approved details prior to first occupation of any of the hereby approved residential units.
3. No development, other than site clearance and site compound set up, shall be undertaken until such time as the precise details of existing and proposed levels for the whole site and proposed finished floor levels for the hereby approved properties have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved site levels and finished floor levels.
4. Prior to first occupation of any residential unit, the vehicular access from Three Counties Road (as shown on the layout plan 650.15-p100 rev J) shall be fully constructed and be available for use in accordance with the approved plans.
5. No development shall commence until such time as a Construction Environment Management Plan has been submitted to and approved in writing by the Local Planning Authority. This shall include details of:  
Wheel wash facilities for construction vehicles;  
Arrangements for temporary construction access;

Contractor and construction worker car parking;  
Turning facilities during the remediation and construction phases;  
Details of on-site storage facilities;  
The development shall be carried out in accordance with the approved Construction Environmental Management Plan.

6. Prior to first occupation of each residential unit, the hereby approved car parking for that plot indicated on approved plan (650.15-P100 rev J) shall be fully constructed, drained, marked out and be available for use and thereafter kept unobstructed and available for its intended purpose.
7. No development, other than site clearance and site compound set up, shall be undertaken until a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions, shall be submitted to and approved in writing by the Local Planning Authority. Foul and surface water shall be drained on separate systems. The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards and unless otherwise agreed in writing by the Local Planning Authority, no surface water shall discharge to the public sewerage system either directly or indirectly. The development shall be completed in accordance with the approved drainage scheme.
8. No development, other than site clearance and site compound set up, shall be undertaken until a surface water drainage scheme for the site, based on sustainable drainage principles has been submitted to and approved in writing by the local planning authority. The total surface water run-off rate shall be limited to 50% of the existing rate and on site attenuation storage provided. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed. The scheme shall also include: details of exceedance event up to a 1 in 100 year including climate change allowance and details of how the scheme shall be maintained and managed after completion
9. No development, other than site clearance and site compound set up, shall be undertaken until a sustainable drainage management and maintenance plan for the lifetime of the development has been submitted to the local planning authority and agreed in writing. The sustainable drainage management and maintenance plan shall include as a minimum: A: Arrangements for adoption by an appropriate public body or statutory undertaker, or, management and maintenance by a resident's management company; and B: Arrangements for inspection and ongoing maintenance of all elements of the sustainable drainage system to secure the operation of the surface water drainage scheme throughout its lifetime. The development shall be carried out in accordance with the approved details.
10. During demolition, ground engineering and construction periods, no works (including vehicle and plant movements, deliveries, loading and unloading) shall take place outside the hours of 07:30 and 18:00 Mondays to Fridays and 08:00 to 13:00 Saturdays. No work shall take place on Sundays and Bank Holidays.
11. The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) Technical notes from JBA (Ref 2017s5794-S-N001-1 dated 4<sup>th</sup> April 2017 and Ref 2017s5794-S-N002-1 dated 24<sup>th</sup> April 2017) and the following mitigation measures:
  - i The external garden levels are set at 136.55 mAOD and properties finished floor levels are set at least at 137.92 mAOD for plots 25-28 and at least at 137.72 mAOD for plots 29-34 and
  - ii Permitted development rights are removed for plots 25-34 to ensure floodplain volume is retained.

12. No development, other than site clearance and site compound set up, shall be undertaken until precise details of the buffer zone alongside the River Tame shall be submitted to and approved in writing by the Local Planning Authority. The buffer zone scheme shall be free from built development including lighting, domestic gardens and formal landscaping; and could form a vital part of green infrastructure provision. The schemes shall include: the extent and layout of the buffer zone, details of any proposed planting scheme (for example, native species), details demonstrating how the buffer zone will be protected during development and managed/maintained over the longer term including adequate financial provision and named body responsible for management plus production of detailed management plan and details of any proposed footpaths, fencing, lighting. Plots 25-34 shall not be occupied until the buffer zone has been constructed in accordance with the approved details and the area shall thereafter be so maintained.
13. No development, other than site clearance shall take place until a lighting plan (for both construction and post development phases) taking into account the feeding and commuting behaviour of bats around the River Tame shall be submitted to the local planning authority and agreed in writing. The development shall be constructed in accordance with the approved lighting scheme.
14. Works to trees or vegetation clearance on site shall be carried out in accordance with the best practice guidance submitted in the Extended Phase 1 Habitat Survey Report (The Tyrer Partnership, 20<sup>th</sup> May 2016),.
15. No development, other than site clearance and site compound set up shall take place until full details of all existing and proposed boundary walls, retaining walls and structures have been submitted to and approved in writing by the local Planning Authority. The development shall be carried out in accordance with such details and thereafter so maintained.
16. Notwithstanding the provisions of the Town and Country Planning General Permitted Development Order 2015 and any subsequent amendments express planning consent shall be required for any development referred to in schedule 2 part 1 Class A, E and F of that order.
17. The development hereby permitted shall be carried out in accordance with the following approved plans: 650.15-P100 rev J, 650.15-P103, Flood Risk Assessment (FRA) Technical notes from JBA (Ref 2017s5794-S-N001-1 dated 4<sup>th</sup> April 2017 and Ref 2017s5794-S-N002-1

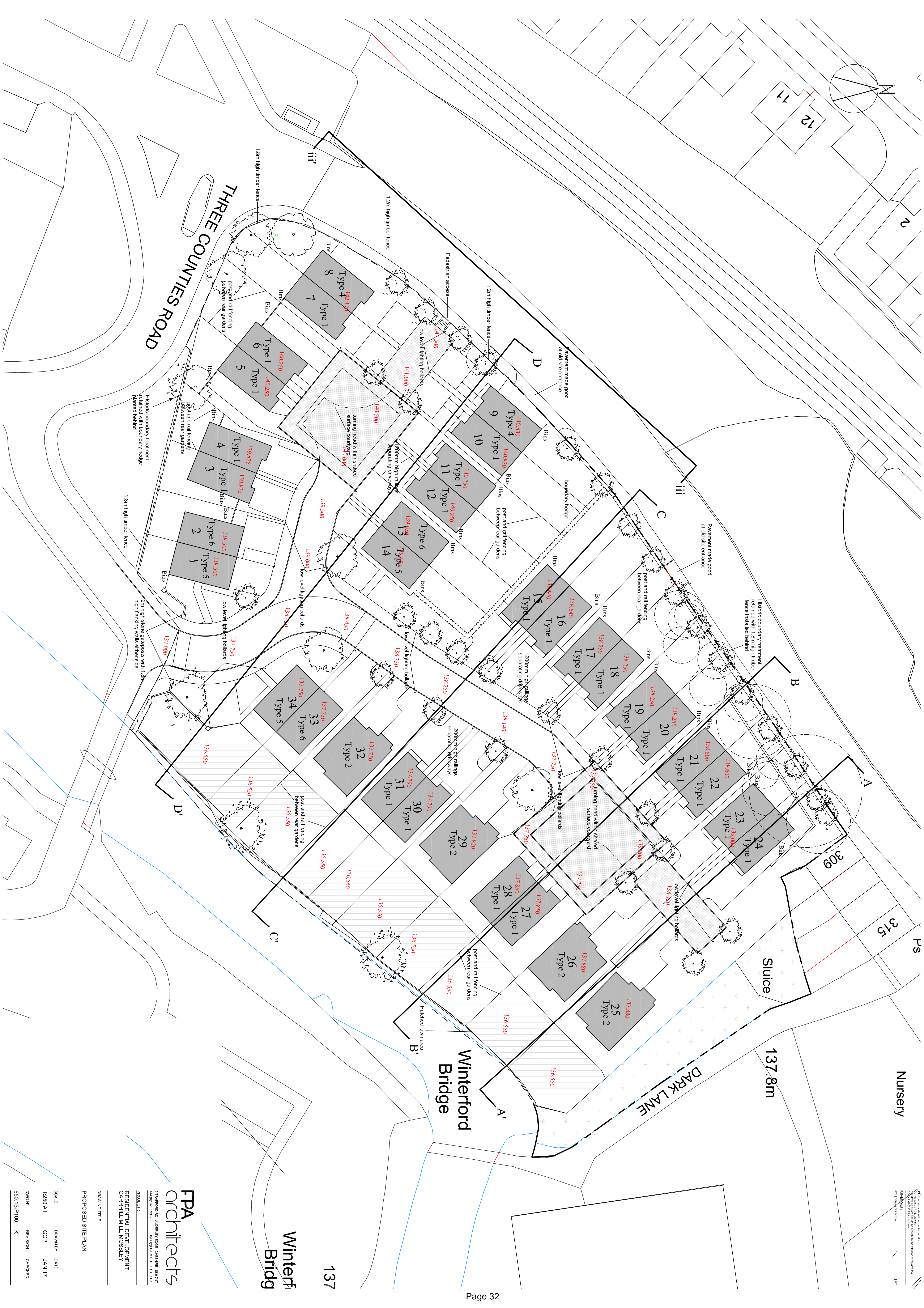


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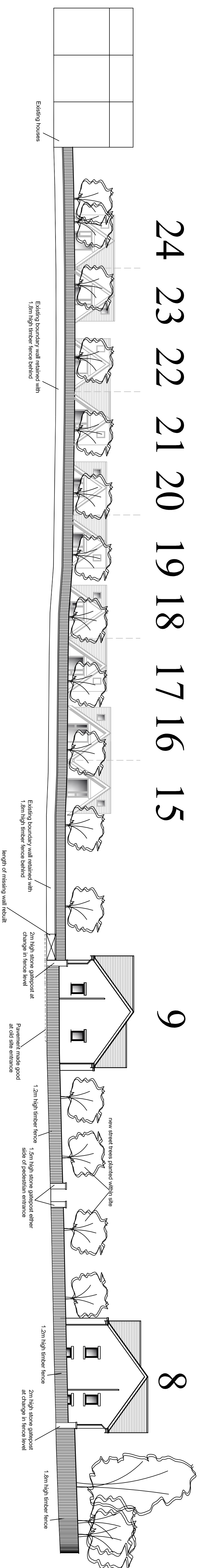
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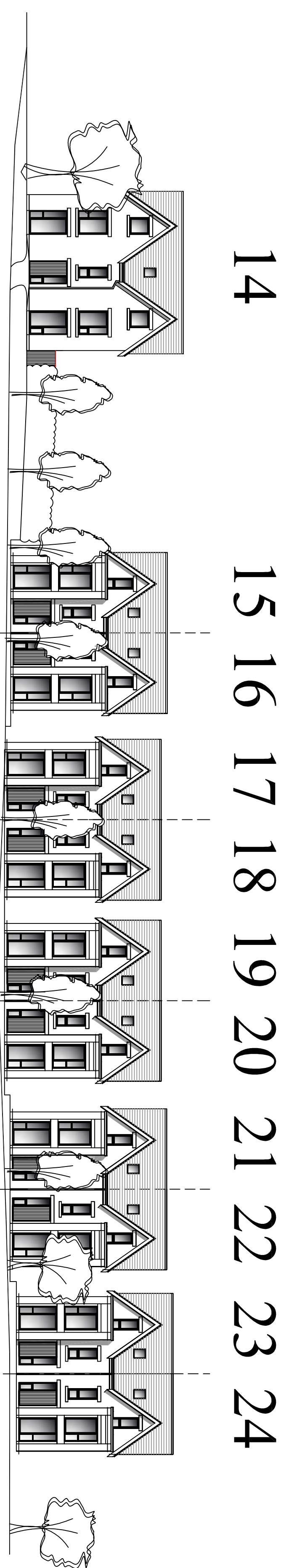








# Manchester Road Street Scene



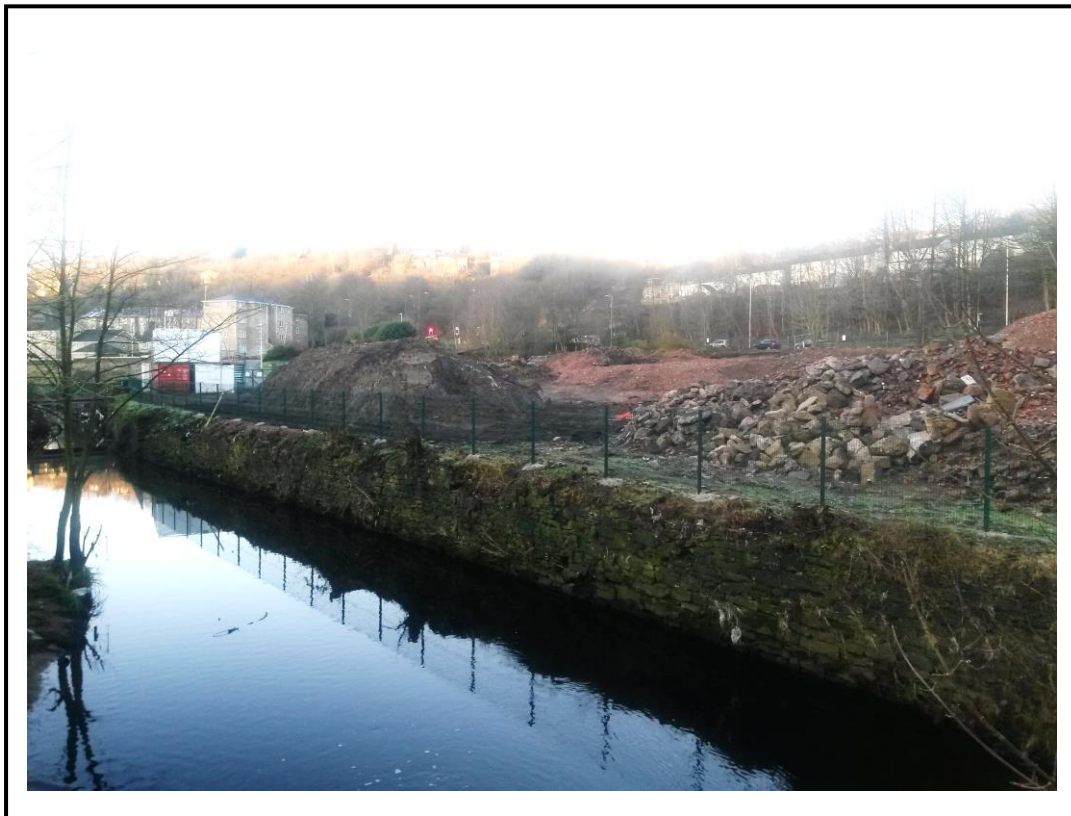
# Street Scene

**Application Number: 16/00766/REM**

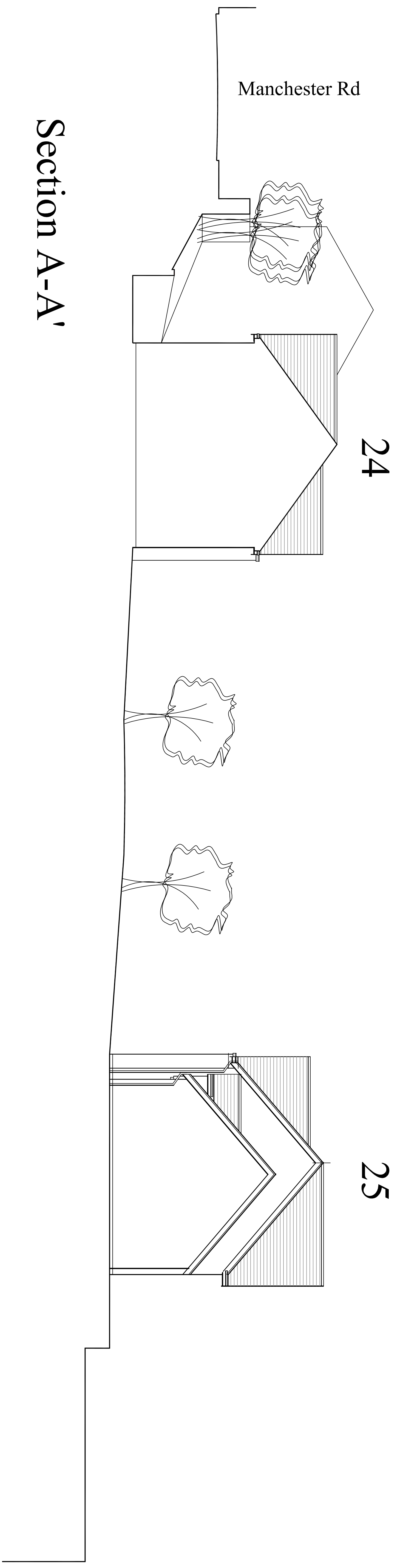
**Photo 1**



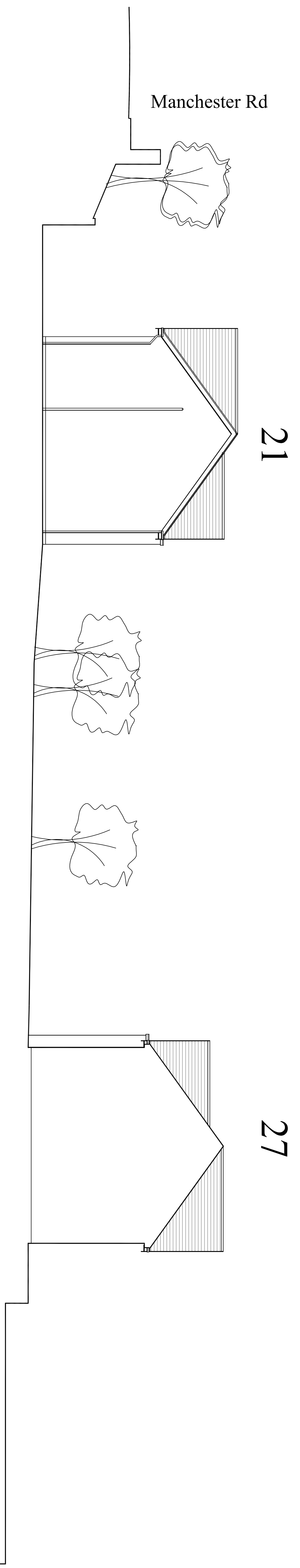
**Photo 2**







Section A-A'



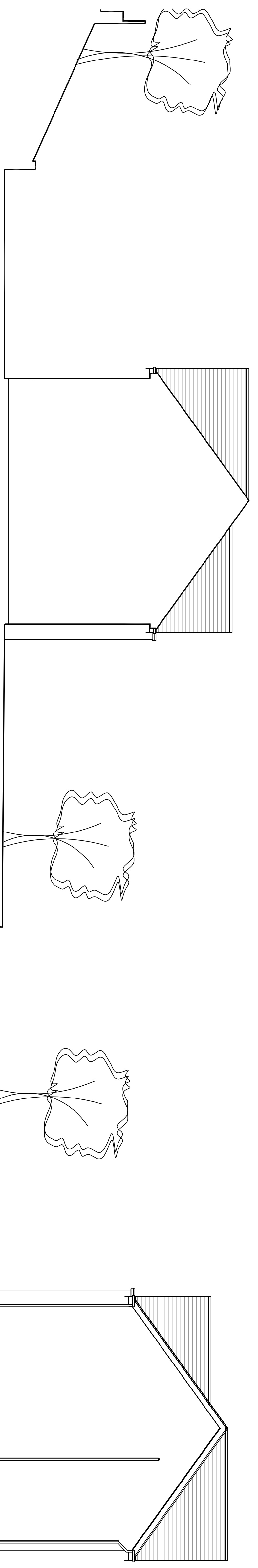
Section B-B'

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 PROJECT:  
 RESIDENTIAL DEVELOPMENT  
 CARRHILL MILL, MOSSLEY

DRAWING TITLE: \_\_\_\_\_  
 SITE SECTIONS 1

SCALE: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 1:100 A1 GCP APRIL 17  
 DWG N°: \_\_\_\_\_ REVISION: \_\_\_\_\_ CHECKED: \_\_\_\_\_  
 650\_15-P104

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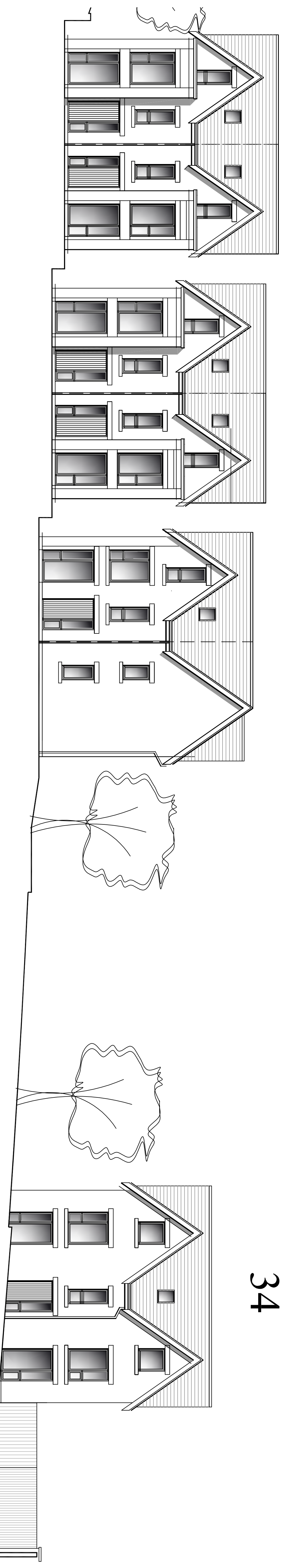
Section C-C'

9 10

11 12

13 14

34



Section D-D'

## **Application Number 16/00972/FUL**

<b>Proposal</b>	Erection of one industrial building to create 3749m <sup>2</sup> of B2 General Industrial floor space
<b>Site Location</b>	Land North West of Shepley Industrial Estate, Shepley Road, Audenshaw, Tameside
<b>Applicant</b>	Stainless Restoration Ltd
<b>Recommendation</b>	Grant Planning Permission subject to conditions
<b>Reason for report</b>	A speakers panel decision is required because the application proposes a major development, as defined by The Town and Country Planning (Development Management Procedure) (England) Order 2015.

## **REPORT**

### **1.0 SITE & SURROUNDINGS**

- 1.1 The site that is the subject of this planning application relates to a 3 hectare parcel of vacant land, which is located to the north west of the existing built area of the Shepley North Industrial Estate in Audenshaw.
- 1.2 In terms of the setting of the application site within the locality, the application site sits at a low point when viewed from the surrounding area, with the river Tame running along the sites northern boundary, the remaining area of Shepley Road Industrial Estate is located to the east, an area of open space, known locally as King George Playing Field, is located to the south and west of the site, while further employment land is also located to the North West.
- 1.3 Nearby housing is positioned along the outer perimeter of the open space. Birch Grove and The Old Stables lie approximately 170m to the south and the Old Stables, Mount Pleasant is located to the west, beyond the allotment gardens at a distance of approximately 120m whilst the nearest residential accommodation is located along Paradise Street. This is approximately 50m from the development site boundary.
- 1.4 Access and egress to the development will be taken through the Shepley North Industrial Estate from Shepley Road.

### **2. THE APPLICANT AND THE APPLICANTS MANUFACTURING PROCESS**

- 2.1 Stainless Restoration Limited is a Tameside based company that manufacture most metal finishing requirements for the stainless steel manufacturing sector, and also offer other services to deal with carbon steel and cover blasting, coating and painting.
- 2.2 The company currently employs 48 staff from their current base at Hyde, and currently leases commercial floor space at the Adamson Industrial Estate. However, the planning statement that has been presented with this planning application advises that the site is not suitable for the business to expand, and they have been in

discussions with the Council's Investment and Development team for approximately 18mths to help them to find a site that may be suitable to facilitate their expansion.

This planning application is the conclusion of those discussions.

### **3. APPLICATION DESCRIPTION AND DETAILS**

3.1 This application is a full application that seeks planning permission for a new industrial building, so as to provide 3,749 m<sup>2</sup> of B2 Industrial floor space including 33m<sup>2</sup> of ancillary and office space, access from Shepley Road Industrial Estate along with 34 car parking space, including 5 disabled person spaces, site access road and turning area.

3.1.2 In terms of the proposed building, the footprint, will be made up of two identical 1858m<sup>2</sup> manufacturing buildings to a maximum height of 12.4m which will be centrally linked with a building to a maximum height of 7m that will provide floor space for offices, a reception area, canteen, toilets, laboratory area and first aid room.

3.1.3 The bulk, mass and design of the building is visually similar to those which already sit within the Shepley North (and South) Industrial Estates, comprising brickwork to the lower parts of the buildings and profiled sheet cladding on the walls and roof above.

### **4. RELEVANT PLANNING HISTORY**

4.1 There are no current or earlier planning applications that affect the consideration of this proposal.

### **5.0 RELEVANT PLANNING POLICY**

5.1 Tameside Unitary Development Plan (UDP) – Established Employment Area E3

### **5.2 PLANNING POLICIES**

#### **Part 1 Policies**

- 1.1 Capturing Quality Jobs for Tameside People
- 1.2 Maintaining an Integrated Transport Strategy
- 1.3 Creating a Cleaner and Greener Environment
- 1.5 Following the Principles of Sustainable Development
- 1.6 Securing Urban Regeneration
- 1.10 Protecting and Enhancing the Natural Environment
- 1.12 Ensuring an Accessible, Safe and Healthy Environment

#### **Part 2 Policies**

- E3 Established Employment Area
- E6 Detailed Design of Employment Developments
- OL7 Potential of Water Areas
- OL10 Landscape Quality and Character
- OL15 Openness and Appearance of River Valleys
- T1 Highway Improvement and Traffic management

- T10 Parking
- N3 Nature Conservation Factors
- N4 Trees and Woodland
- N5 Trees Within Development Sites
- N6 Protection and Enhancement of Waterside Access
- MW1 Protection of Mineral Resources
- MW11 Contaminated Land
- MW12 Control of Pollution

#### 5.4 **National Planning Policy Framework (NPPF)**

- 5.4.1 Section 1 Building a Strong, Competitive Economy
- Section 2 Achieving Sustainable Development
- Section 7 Requiring Good Design

#### 5.5 **Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

#### 6.0 **PUBLICITY CARRIED OUT**

- 6.1 As part of the planning application process, notification letters were sent out to neighbouring properties on 8<sup>th</sup> November 2016, with a notice being also displayed at the site on the 8<sup>th</sup> November 2016, along with the publication of a press notice.

#### 7.0 **RESPONSES FROM CONSULTEES**

- 7.1 Head of Environmental Services – Highways has raised no objections to the proposals subject to conditions.
- 7.2 Head of Environmental Services – Environmental Protection has raised no objections to the proposals, subject to planning conditions, to control hours of construction activity and to control the hours of deliveries to the site once in operation, external lighting, odour / fume attenuation measures, limit manufacture / repair processes to within the buildings and agreement of details of all fixed plant.
- 7.3 United Utilities - No objection to the proposed development subject to conditions.
- 7.4 The Environment Agency – No objections have been raised following consultation.
- 7.5 Ecology – No objections in principle, subject to suitable planning conditions

#### 8.0 **THIRD PARTY RESPONSES RECEIVED**

8.1 Four letters (emails) of objection have been received following the neighbour consultation exercise that was carried out. Those objections made representations relating to:-

- Pollution
- Flood Risk
- Loss of habitat
- Existing vacant industrial properties
- Loss of Natural Land
- Design of buildings
- Character / appearance

## 9.0 **ANALYSIS**

9.1 The key issues attached to this application are:-

- 1) Principle of the development
- 2) Design, layout and impact on River alley
- 3) Environmental Protection
- 4) Highway matters
- 5) Ecology & Trees
- 6) Drainage and flood risk

## 10.0 **The Principle of Development**

10.1 This development site sits within an established employment area, as identified on the Unitary Development Plan Proposals Map to which policy E3 applies. Policy E3 states that the Council will permit development for employment purposes both on vacant sites and through the redevelopment of sites already in use, development of new employment sites is broadly supported by the NPPF.

10.2 As such, the proposed new building and the proposed manufacturing use is acceptable in principle subject to consideration of the key issues outlined in paragraph 9.1 above.

## 11.0 **Design, layout and impact on river valley**

11.1 This proposal would involve the erection of a modern industrial building comprising 3,749m<sup>2</sup> of general industrial floor space, and would be configured of two identical 70m (l) x 22m (w) x 12.4m (h) buildings, that would be centrally linked by a lower level building to a height of 7m that would provide ancillary office space and welfare facilities. When viewed in the context of the site, the built arrangement will cover around one third of the overall site area.

11.2 The position, mass and bulk of the proposed building, along with its relationship to the surrounding area, are the main areas for consideration, particularly, when viewed in the context of the existing buildings within the Shepley Road Industrial Estate and

its relationship to neighbouring residential properties. The setting of the development in the Tame River valley and the protection afforded to the character of this river valley also needs to be considered.

- 11.3 In this context, the proposed site building would be set in 15m from the southern and western boundaries with the public open space, 55m from the sites northern boundary with the river Tame and 20m from the site boundary with the existing Shepley North Industrial Estate. It is considered that the separation distance from the boundary, along with the relatively low position of the site when viewed from the south and west, will mean that the proposed building would provide a suitable and reasonable extension to the existing built form of the Industrial Estate. Given the separation of the main buildings from the river the development would be seen very much in the context of other industrial development and would not be harmful to the character of the river valley in which it is set.
- 11.4 In terms of its mass and bulk, whilst the new building will be relatively large in its own right, it is a utilitarian building the appearance of which will not be dis-similar to the existing industrial buildings. Further to this, new landscaping will be introduced (via planning condition) to the boundary of the site with the open space, which will ensure that there is a robust soft barrier between the new building and surrounding land to the south.
- 11.5 In terms of general design and the impact of the building on the character of the Tame Valley the proposal is considered acceptable and accords with policies E6 and OL15 of the UDP.

## 12.0 **Environmental Protection**

- 12.1 In terms of residential amenity the boundary of the site is 55m away from the nearest residential property, with the proposed buildings being approximately 80m distance from the nearest dwelling on Paradise Street. There is an advantageous change in levels with the application site sitting in a dip whereby it would be at a ground level approximately 3m lower than the nearest neighbouring dwelling. Significant mature planting exists to the boundary of King George playing field which will provide substantial screening of the site. Further landscaping can be required by condition to enhance existing screening of the development by boundary vegetation.
- 12.2 It is considered that the siting of the proposed building, is positioned sufficiently distant from the nearest residential properties on Birch Grove, the Old Stables, Mount Pleasant Street and Paradise Street, so as to avoid any adverse impacts on residential amenity in terms of the location and mass of the proposed buildings.
- 12.3 A number of neighbor objections have also been received, which make representations in in relation to noise, light and air pollution. The proposed development would include a 24 hour operation which is essential to the business needs of the applicant.
- 12.4 In this context the applicant has provided a noise report which concludes that noise levels from the proposed development would be within acceptable levels with noise

from industrial activity within the buildings contained within sound proof booths for the various processes carried out within the building. The submitted report finds no adverse impact in respect of noise from delivery vehicle movements provided these are limited to between 6am and 11pm. It is further noted in the submitted report that due to the position of the proposed buildings the development may even result in a slight decrease in noise from the rest of the industrial estate.

- 12.5 The Council's Environmental Health Officer has no objections to the proposals subject to conditions to limit the hours of goods vehicle movements, restriction of industrial processes to within the building and agreement of the details of all fixed plant and machinery. As such the proposal would not be considered to have an adverse effect upon the amenities of the occupants of nearby dwellings in terms of noise.
- 12.6 In terms of potential light pollution the buildings would face to the north and east away from neighbouring dwellings thus limiting the potential for any light spillage. The Council's Environmental Health Officer has commented on the application and has not raised any objections in relation to light pollution subject to a condition requiring lighting details to be agreed.
- 12.7 In relation to potential air pollution the Council's Environmental Health Officer again has no objections subject to a condition requiring details of a scheme for treating fumes and odours before their emission to the atmosphere.
- 12.8 Due to the possibility of contamination on site conditions are suggested which would require the identification of potential contamination and agreement of a scheme of remediation measures where required.
- 12.9 Subject to the submission of mitigation measures attached to noise, air and light pollution, it is considered that the proposed development will closely harmonise with the surrounding industrial estate, and will be sufficiently controlled with enforceable planning conditions, so as to prevent adverse impacts on surrounding residential amenity and as such is considered compliant with policies E6(d) and MW12 of the UDP and paragraphs 109, 120, 123 and 125 of the NPPF.
- 13.0 **Highway Matters**
- 13.1 The application site is proposed to be accessed via the existing estate road served via a junction with Shepley Road. Space is provided within the site for turning of goods vehicles. The application is accompanied by a transport statement which examines likely trip generation, local accident records and sustainable transport choices available.
- 13.2 In terms of the local accident record only 2 injury accidents have been recorded in the local area over the last 5 years, neither of which was at the access point to the industrial estate. The accident record does not indicate that there is a particular issue with road safety proximate to the development site.



- 13.3 The site is considered to be in an accessible location by foot, on cycle and via public transport (bus) and is thus in a location where a variety of transport options exist.
- 13.4 In terms of guidance contained within paragraph 32 of the NPPF this indicates that development must have a 'severe' impact upon the transport network for planning permission to be refused. The transport statement submitted with the application indicates the proposal is likely to generate 10 two way car trips in the am peak and 9 two way car trips in the pm peak, which is assessed as having little to no discernable impact upon the highway network and could not be described as 'severe'. The movements are based upon a typical 4250sqm B2 use extrapolated from the TRICS database which is standard practice for producing transport reports and statements.
- 13.5 In terms of car parking the councils parking guidance indicates that 65 spaces would be required to serve a B2 use of the floor area proposed. In the case of this application only 29 car parking spaces are proposed based upon the companies experience working on other sites. As a maximum of 34 people would work the day shift (08:00 – 16:30) and 8 people would work the night shift (18:00 to 06:00) with a skeleton staff in between shifts mainly made up of floor supervisors the proposal to provide 29 spaces would appear adequate. Furthermore the standards expressed in the UDP are maximum standards and the site is self-contained at some distance from the highway where sufficient space is available to provide additional parking within the site should the need arise. In the absence of any objection from the Council's highway engineer the level of parking proposed to be provided is considered acceptable.
- 13.5 The Council's highways engineer has been consulted as part of this proposal, and has raised no objections to the proposed development, subject to a planning condition that requires the proposed site car parking and servicing arrangements to be completed prior to the occupation of the building.
- 13.6 In light of the foregoing the proposal is considered acceptable in terms of UDP policies T1 and T10 and guidance within the NPPF.

#### 14.0 **Ecology & Trees**

- 14.1 Ecological surveys have been undertaken by suitably qualified consultants and submitted as part of the planning application process. Whilst GMEU highlight that the habitat survey was carried out early in the survey season for a comprehensive plant species list they do not dispute the survey findings that the grassland on the site is not particularly species rich and that the surveys have been carried out to appropriate standards.
- 14.2 The site is not designated for its nature conservation value and it is not adjacent to or close to any designated sites, although the river forming the northern boundary of the site is an ecological asset and forms an important wildlife corridor it would appear

from the plans supplied that the proposed built development will not directly affect the River or its banks (apart from a small area to allow for the installation of surface water drainage), and a 50m wide 'buffer' has been left between the built development and the River.

- 14.3 Trees are present on a steeply sloping part of the site to the south and west, which are noted to be of local ecological value. Whilst some trees on the lower, level part of the site will need to be removed to facilitate the development those on the sloping part of the site which offer the most filtering of views of the development will not be directly affected by the development proposals and replacement planting can be secured as part of a landscaping scheme for the site.
- 14.4 Overall, this site has only low potential to support any protected species and taking the above site specific factors into account, there are no ecological objections, subject to suitable planning conditions. As such the proposal is considered compliant with policies N4, N5 and N7.

## **15.0 Drainage and Flood Risk**

- 15.1 The application site is located adjacent to the River Tame but is located in flood zone 1 – the lowest area of flood risk from rivers (fluvial sources) and the Environment Agency have no comments or objections regarding the proposal. The proposed use is classed as less vulnerable and is compatible with flood zone 1 without a need for a sequential or exception test.
- 15.2 As a major development proposal the application is accompanied by a flood risk assessment which does not identify a risk of flooding from other sources (sewers, groundwater, canals & artificial sources).
- 15.3 As the amount of impervious area on the site would increase the applicant has indicated that an appropriate SuDS compliant drainage system will be devised to serve the development and ensure that greenfield runoff rates are maintained.
- 15.4 In the absence of any technical objection the proposal is considered to accord with policy U3.

## **16.0 Conclusion**

- 16.1 The proposals would result in the provision of a bespoke manufacturing building to allow the applicant to expand its business operations in the Borough. As part of this, it has been highlighted that the numbers of employees will expand from its current employment base of 48 to employ an additional 42 people (90 in total). The applicants existing premises would be retained and the intention is to add to this with the application site as a 'centre of excellence'

- 16.2 In the Planning Balance the provision of new employment weighs heavily in favour of the application as does the fact that the proposal lies on a designated employment site.
- 16.3 The applicant has demonstrated through the submission of a detailed noise report that the proposal would not result in undue noise and the building is considered sufficiently distant from the neighbouring properties so as not to otherwise affect their amenities in terms of light and outlook.
- 16.3 Overall, it is considered the application complies with both development plan policy set out in the UDP and national guidance in the NPPF and NPPG. As such the application is recommended to be approved.

### **RECOMMENDATION**

To grant planning permission subject to the conditions set out below:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
2. The development hereby permitted shall be carried out in strict accordance with the plans and supporting information that submitted and considered as part of this planning application, those being:
  - The site location plan – PL – 04 16 069 - 01 dated April 2016;
  - The proposed site plan – PL – 04 16 069 - 02 dated April 2016;
  - The proposed floor plan – PL – 04 16 069 - 03 dated April 2016;
  - The proposed front elevations – PL – 04 16 069 - 04 dated April 2016;
  - The proposed rear elevations – PL – 04 16 069 - 05 dated April 2016;
  - The proposed side elevations – PL – 04 16 069 - 06 dated April 2016 and;
  - The proposed roof plan – PL – 04 16 069 - 07 dated April 2016.
3. Prior to the commencement of development details of all materials and material colours to be used externally shall be submitted to and approved in writing by the Local Planning Authority and the development shall only be carried out using the agreed materials and material colours.
4. Prior to the commencement of development, the following information shall be submitted in writing and written permission at each stage has been granted by the Local Planning Authority.
  - i) A preliminary risk assessment to determine the potential for the site to be contaminated shall be undertaken and approved by the Local Planning Authority. Prior to any physical site investigation, a methodology shall be approved by the Local

Planning Authority. This shall include an assessment to determine the nature and extent of any contamination affecting the site and the potential for off-site migration.

ii) Where necessary a scheme of remediation to remove any unacceptable risk to human health, buildings and the environment shall be approved by the Local Planning Authority prior to implementation.

iii) Any additional or unforeseen contamination encountered during development shall be notified to the Local Planning Authority as soon as practicably possible and a remedial scheme to deal with this approved by the Local Planning Authority.

iv) Upon completion of any approved remediation schemes, and prior to occupation, a completion report demonstrating that the scheme has been appropriately implemented and the site is suitable for its intended end use shall be approved in writing by the Local Planning Authority.

The discharge of this planning condition will be given in writing by the Local Planning Authority on completion of the development and once all information specified within this condition and other requested information have been provided to the satisfaction of the Local Planning Authority and occupation/use of the development shall not commence until this time, unless otherwise agreed by the Local Planning Authority.

5. Prior to the commencement of any development, a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions shall be submitted to and approved in writing by the Local Planning Authority. The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards and unless otherwise agreed in writing by the Local Planning Authority, no surface water shall be discharged to the public sewerage system either directly or indirectly unless specifically otherwise agreed in writing. Foul and surface water shall be drained on separate systems unless otherwise agreed in writing and in the event of surface water draining to the public surface water sewer, the pass forward flow rate to the public sewer must be restricted to 24 l/s. The development shall be completed in accordance with the approved details.

7. Prior to the commencement of the development hereby approved, full details of both hard and soft landscaping shall be submitted for the consideration of the Local planning Authority. All hard and soft landscape works shall be carried out in accordance with the approved details.

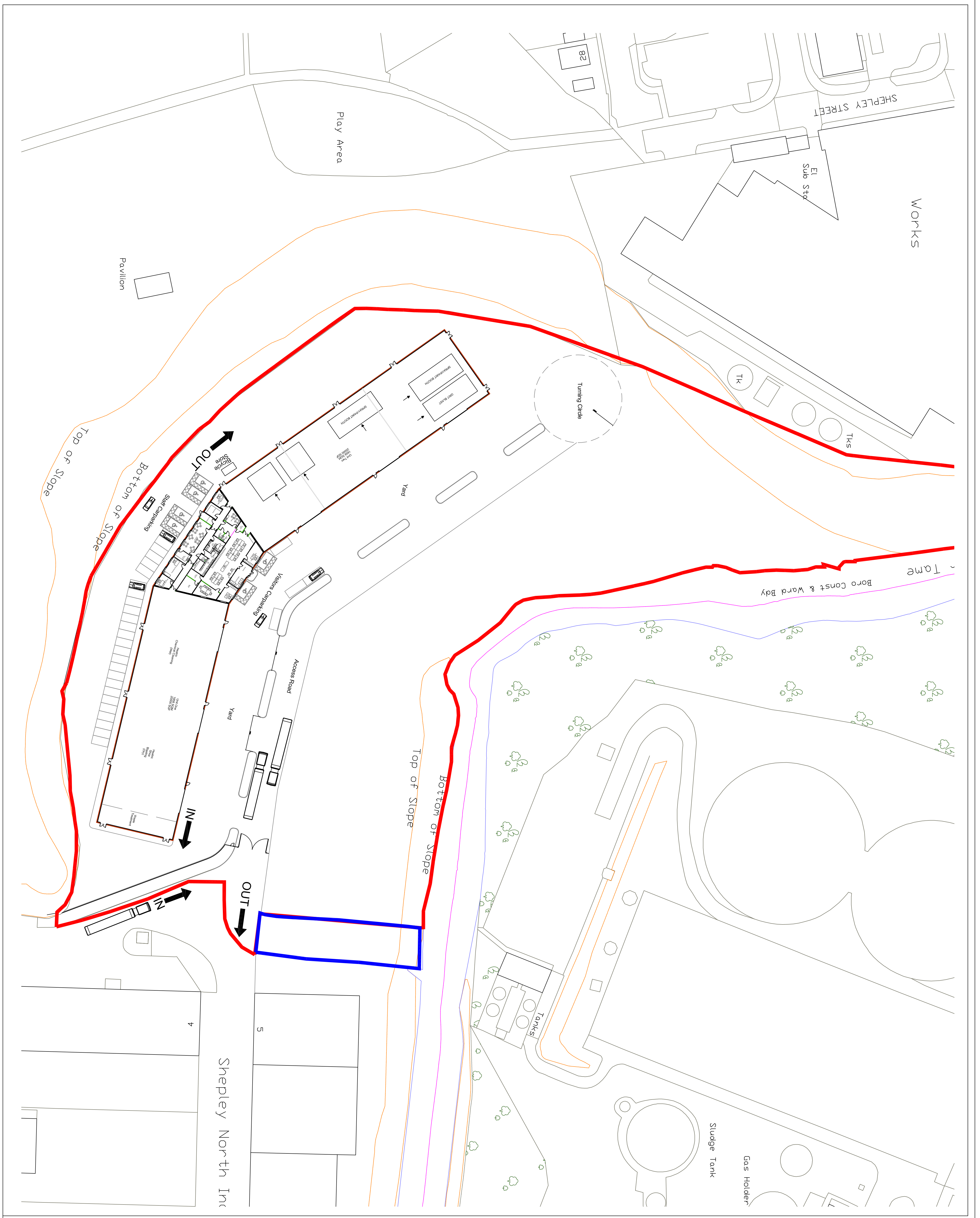
The works shall be carried out prior to the occupation of any part of the development or in accordance with a programme agreed previously with the Local Planning Authority. Any newly planted trees or plants forming part of and the approved landscaping scheme which, within a period of 5 years from the completion of the planting, are removed, damaged, destroyed or die shall be replaced in the next appropriate planting season with others of similar size and species by the developer unless the Local Planning Authority gives written consent to any variation.

8. During site clearance and construction no work (including vehicle and plant movements, deliveries, loading and unloading) shall take place outside the hours of 07:30 and 18:00 Mondays to Fridays and 08:00 to 13:00 Saturdays. No work shall take place on Sundays and Bank Holidays.
9. The development shall not commence until details of the wheel cleaning facilities, temporary access, vehicle parking and turning facilities to be provided during the construction period, has been submitted to and approved in writing by the Local Planning Authority. These measures shall be implemented and retained in operation through the duration of the building works.
10. Prior to first occupation of the building hereby-approved, the car parking, servicing and turning facilities shown on proposed site plan – PL – 04 16 069 - 02, shall be fully completed and available for use to the full satisfaction of the Local Planning Authority, and thereafter kept unobstructed and available for their intended purposes. Vehicles must be able to enter and leave the site in forward gear at all times.
11. No illumination of any part of the development including any lighting to be installed on any buildings or elsewhere on the site shall take place unless a scheme for such lighting has first been submitted to and approved in writing by the Local Planning Authority. The lighting shall thereafter be carried out in accordance with the approved details. 12. The development hereby approved shall not be brought into use unless and until a scheme for treating fumes and odours before their emission to the atmosphere so as to render them innocuous, has been submitted to and approved in writing by the Local Planning Authority. Such works that form part of the approved scheme shall be completed before the development is brought into use, and shall be maintained thereafter.
13. No manufacturing or repair processes shall be carried out other than within the building(s) on the application site as shown on the approved plan PL – 04 16 069 - 02 dated April 2016.
14. Details of all fixed plant and machinery together with any acoustic treatment /design, shall be submitted to and approved in writing by the Local Planning Authority prior to their installation. Plant and machinery shall be installed in accordance with the agreed measures which shall be maintained thereafter.
15. No development or works of site preparation shall take place until:
  - All trees that are to be retained within or adjacent to the site have been enclosed with temporary protective fencing in accordance with BS:5837:2012 'Trees in relation to design, demolition and construction. The fencing shall be retained throughout the period of construction and no activity prohibited by BS:5837:2012 shall take place within such protective fencing during the construction period;
  - A suitably robust fence is be erected between the development site and the 'buffer zone' between the site and the River to prevent encroachment;

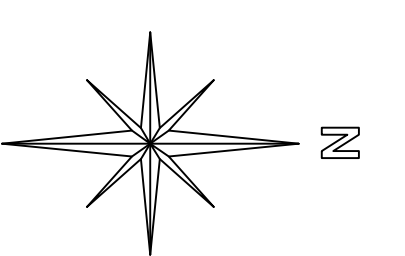
- All trees to be retained on the slope to the rear of the application site shall be suitably protected during the course of any site clearance and building works;
  - A detailed scheme for the design he attenuation pond shown as part of the drainage proposals, shall be submitted for the Council's consideration, with this design setting out measures to support wildlife, and enhance the wildlife value of the site;
  - A further, precautionary survey of the site for the possible presence of Badgers should be carried out. If Badgers are found by survey then a Method Statement will need to be prepared giving details of measures to be taken to avoid any possible harm to badgers and, once agreed, should be implemented in full.
  - A further survey of the site to investigate the presence of harmful invasive plant species shall be undertaken (particularly Himalayan balsam and Japanese knotweed). If these plants are found on site then additional measures will need to be taken to prevent their spread during the course of any agreed works;
16. No vegetation clearance required by the scheme should take place during the optimum period for bird nesting (March to July inclusive).
17. No commercial vehicular movements to, from or within the site, shall be permitted;
- a) Outside the hours of 0600hours and 2300hours Monday to Saturday.
  - b) On Sundays or Bank Holidays







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### Planning Drawing

Project Title :-  
New Industrial Units - Land Adjacent Shepley Industrial Estate  
Proposed Site Plan

Client :-  
Stainless Restoration

Drawg No :-	Date :-	Rev :-
PI-04-16-089	02 April '16	
Scale :-	Drawn:- SCM	Checked :-
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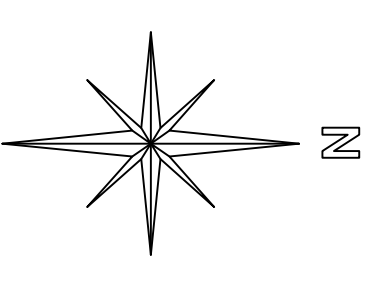
Site Address :-  
Land Adjacent Shepley Industrial Estate  
Dukinfield  
Tameside

14 Primrose Bank  
Greenfield  
Saddleworth  
OL3 0JF  
Tel: 01457 871202  
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- Land edged in red to be sold
- Area edged in blue to be retained

### Planning Drawing

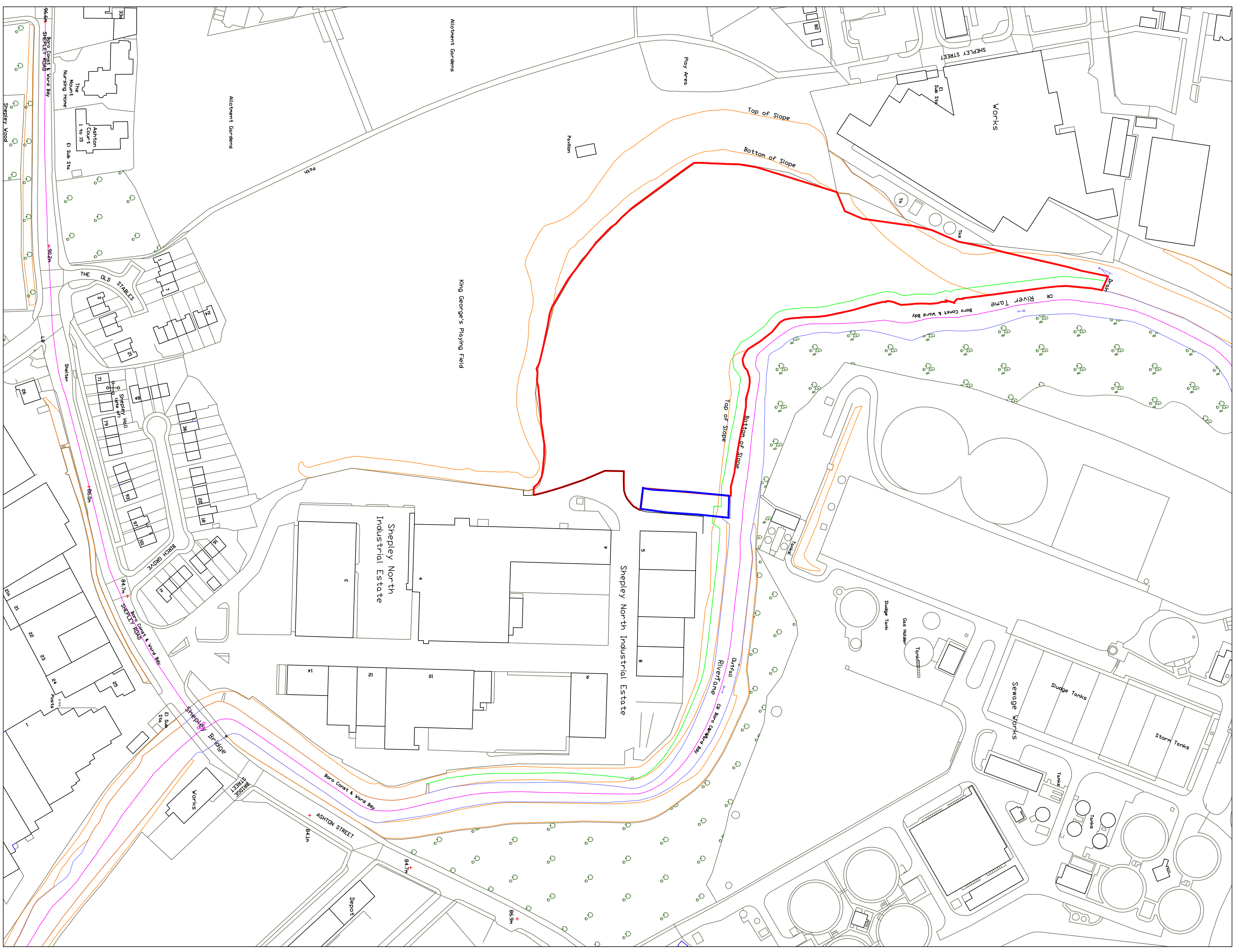
**Project Title :-**  
New Industrial Units - Land Adjacent Shepley Industrial Estate  
Existing Location Plan

**Client :-**  
Stainless Restoration

Dwg No :-	Date :-	Rev :-
PI-04-16-009	April '16	
Scale :-	Drawn:-	Checked :-
1:1250@A1	SCM	

**Site Address :-** Land Adjacent Shepley Industrial Estate  
Dukinfield  
Tameside

14 Primrose Bank  
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wmshovell@aol.com  
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**Application Number: 16/00972/FUL**

**Photo 1**



**Photo 2**



Photo 3

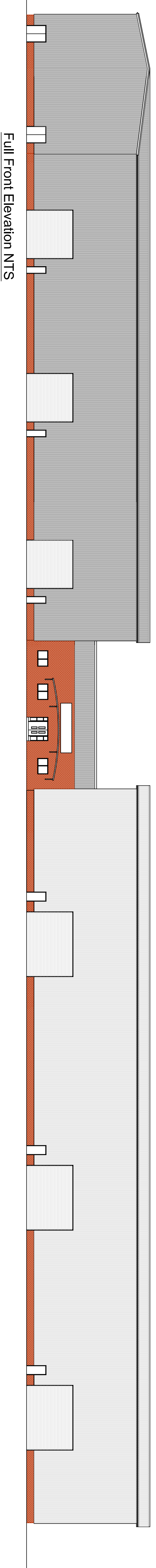


Photo 4

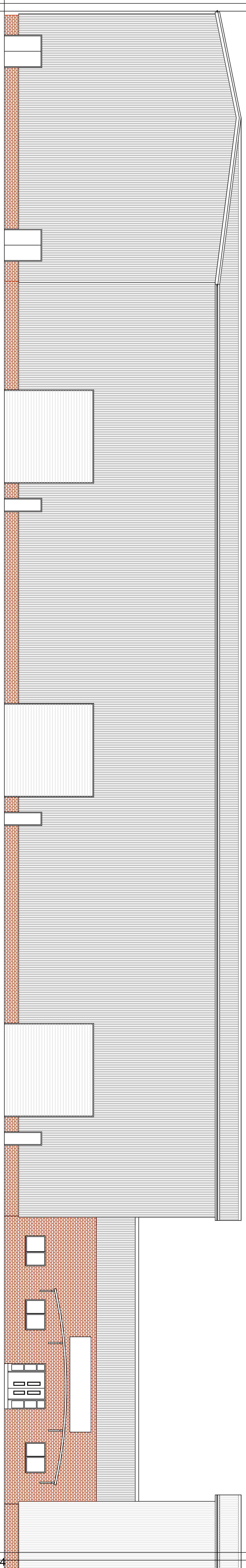




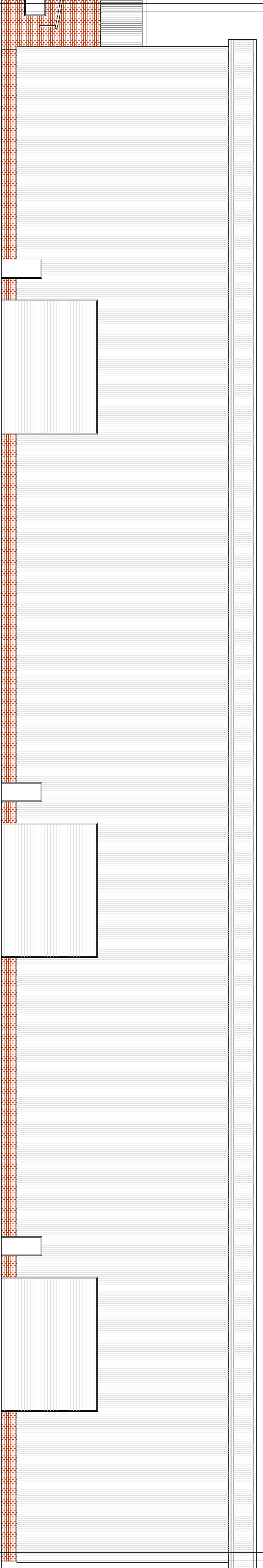
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Full Front Elevation NTS



Part Front Elevation 1:100@A1



Part Front Elevation 1:100@A1

Planning Drawing

Project Title :-  
New Industrial Units - Land Adjacent Shepley Industrial Estate  
Proposed Front Elevation

Client :-  
Stainless Restoration

Dwg No :-  
F1 - 04 16 089

Date :-  
April '16

Scale :-  
1:100@A1

Drawn :-  
SCM

Checked :-

Site Address :-  
Land Adjacent Shepley Industrial Estate  
Dukinfield  
Tameside

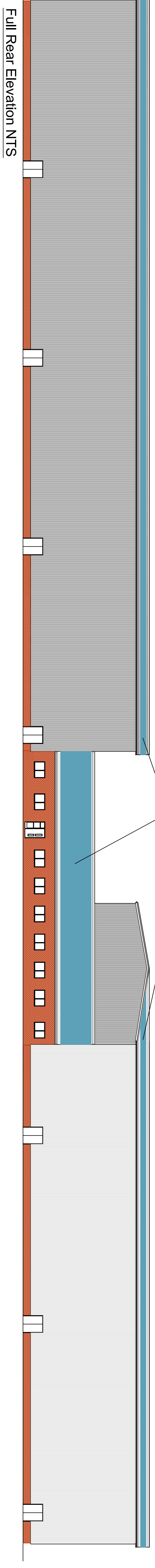
14 Primrose Bank  
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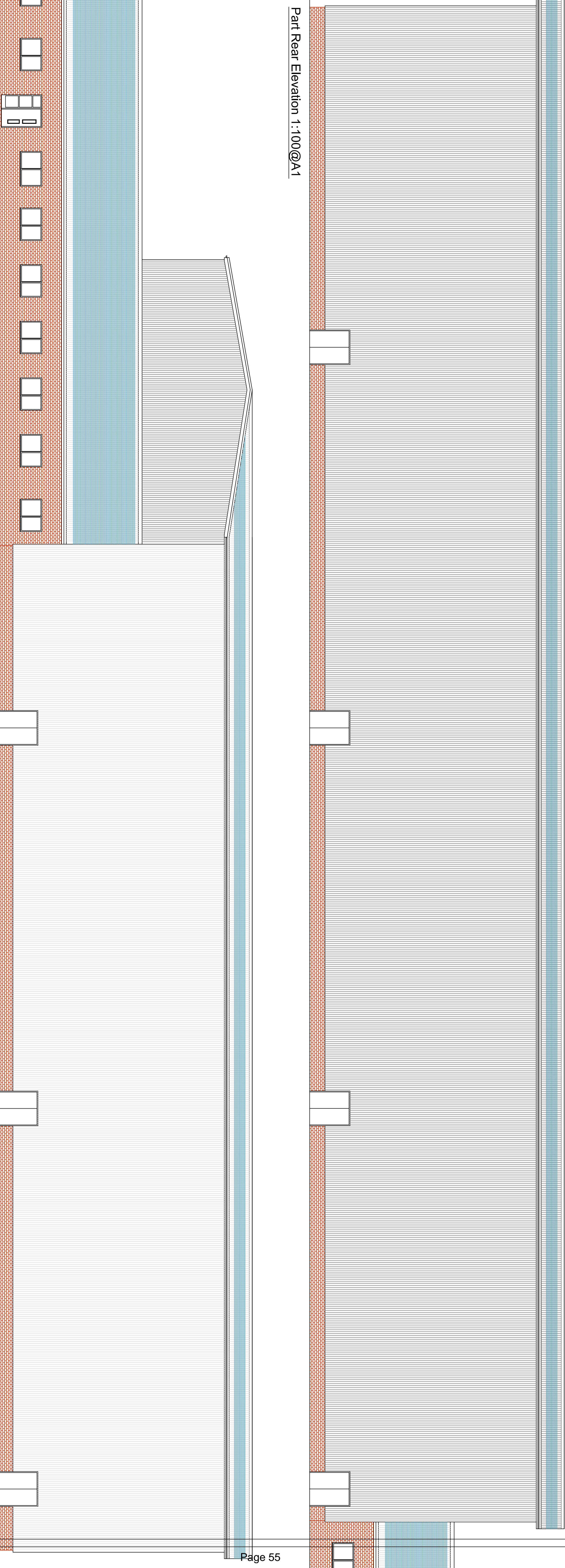
South facing rear elevation roof space to receive Solar Panels.  
System to be designed by others

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Full Rear Elevation NTS

Part Rear Elevation 1:100@A1



Part Rear Elevation 1:100@A1

Planning Drawing

Project Title :-  
New Industrial Units - Land Adjacent Shepley Industrial Estate  
Proposed Rear Elevations

Client :-  
Stainless Restoration

DWG No :-  
05

Date :-  
April 16

Rev :-

Scale :-  
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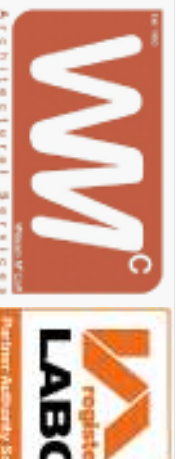
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Site Address :-  
Land Adjacent Shepley Industrial Estate  
Dukinfield  
Tameside

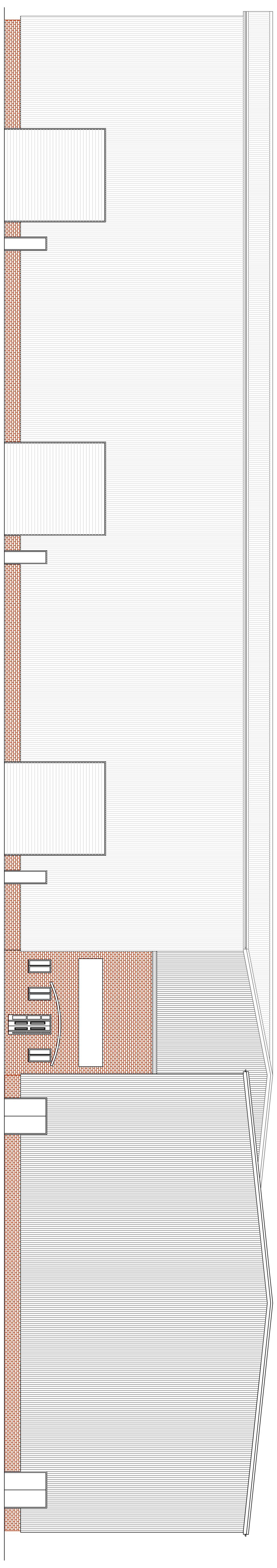
14 Primrose Bank  
Greenfield  
Saddleworth  
Tel: 01457 871202  
wms@mc-call.com

www.william-mccall.com

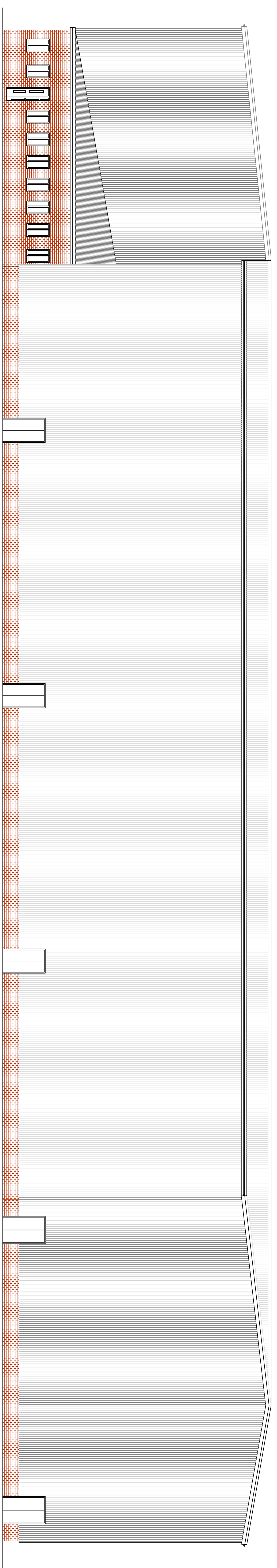




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Part Side Elevation 1:100@A1



Part Side Elevation 1:100@A1

**Planning Drawing**

Project Title :-  
New Industrial Units - Land Adjacent Shepley Industrial Estate  
Proposed Side Elevations

Client :-  
Stainless Restoration

Dwg No :-  
P1 - 04 16 009

Date :-  
April '16

Scale :-  
1:100@A1

Drawn :-  
SCM

Checked :-

Site Address :-  
Land Adjacent Shepley Industrial Estate  
Dulkield  
Tarneside

14 Primrose Bank  
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Shepley  
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wms@wmc.co.uk  
www.william-mccall.com





**Application Number** 17/00131/OUT

**Proposal** Detached dwelling - outline with all detailed matters reserved.

**Site** Holy Trinity Church Hall, 16A Higham Lane, Hyde

**Applicant** The Diocese Of Chester

**Recommendation** Grant planning permission subject to conditions

**Reason for report** A Speakers Panel decision is required because, in accordance with the Council's Constitution a member of the public has requested the opportunity to address the Panel before a decision is made. Accordingly, the applicant, or their agent, has been given the opportunity to speak also.

## REPORT

### 1.0 APPLICATION DESCRIPTION

- 1.1 The application seeks outline planning consent for the development of a single dwellinghouse. All matters of details, namely the layout, appearance, scale, access and landscaping of the development, are reserved and will require subsequent consent should this outline application be granted.
- 1.2 The application is accompanied by an indicative site layout plan showing how the proposed dwellinghouse might be accommodated on the site and it is stated that it is envisaged that the new house would contain no more than two storeys and perhaps be split level due to the topography of the site. The stated intention is that the proposed dwellinghouse would provide a replacement for the existing vicarage associated with the neighbouring Holy Trinity Church.

### 2.0 SITE AND SURROUNDINGS

- 2.1 Located in the Gee Cross area of Hyde, the application site comprises approximately 0.1ha of land adjacent to, and comprising the curtilage of, the Church Hall of Holy Trinity Church that fronts on to Higham Lane. Holy Trinity Church is an attractive building constructed from rock-faced stone with a slate roof and is a grade II listed building, built in 1873-4 and first listed on 6 February 1986. The Church Hall is a modern, functional building finished in blockwork.
- 2.2 The application site is located on and accessed from Higham Lane, which rises steeply from west to east from the junction with Stockport Road. Vehicular access to the site is provided via a narrow lane located on the eastern side of the Church which leads to a car park for the use of visitors to the Church and Church Hall. The car park is situated between the Hall and the rear of the existing Vicarage in Higham Lane. The site of the proposed dwellinghouse is located on the eastern side of the Church Hall on land that is grassed and which falls away to the south.
- 2.3 The surrounding area is predominantly residential, including, immediately to the east, a bungalow, built in the late 1980s, behind houses in Higham Lane, but there is open, green belt land immediately to the south and east of the site that forms part of Werneth Low Country Park. A tree within the site, and others around the periphery, are protected.

2.4 The village centre at Gee Cross is located some 380m away along Stockport Road and provides a range of services. Bus routes along Stockport Road provide services to Manchester and Ashton via Hyde town centre.

### **3.0 PLANNING HISTORY**

3.1 None relevant.

### **4.0 RELEVANT PLANNING POLICIES**

4.1 Tameside Unitary Development Plan (UDP) Allocation  
4.1.1 Unallocated

#### **4.2 Tameside UDP**

##### **4.2.1 Part 1 Policies**

1.3: Creating a Cleaner and Greener Environment.  
1.10: Protecting and Enhancing the Natural Environment.  
1.11: Conserving Built Heritage and Retaining Local Identity.

##### **4.2.2 Part 2 Policies**

H2: Unallocated Sites.  
H9: Backland and Garden Development  
H10: Detailed Design of Housing Developments.  
OL4: Protected Green Space  
C1: Townscape and Urban Form.  
C6: Setting of Listed Buildings  
N4: Trees and Woodland.  
N5: Trees Within Development Sites.

#### **4.3 Other Policies**

4.3.1 Residential Design Supplementary Planning Document.

#### **4.4 National Planning Policy Framework (NPPF)**

Section 6 Delivering a wide choice of high quality homes  
Section 7 Requiring good design  
Section 8 Promoting healthy communities  
Section 11 Conserving and enhancing the natural environment  
Section 12. Conserving and enhancing the historic environment

#### **4.5 Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

## **5.0 PUBLICITY CARRIED OUT**

- 5.1 As part of the planning application process notification letters were sent out on 15<sup>th</sup> March 2017 to 7 neighbouring properties in Higham Lane. A notice was posted at the site and published in a local newspaper on 30<sup>th</sup> March 2017.

## **6.0 RESPONSES FROM CONSULTEES**

- 6.1 The Head of Environmental Services – – Highways has raised no objections to the proposal.
- 6.2 United Utilities has identified that a public sewer, which will require a buffer strip of 3m each side, crosses the site but otherwise raises no objection to the proposal.
- 6.3 The Greater Manchester Ecological Unit has raised no objections to the proposal on the basis that no trees are proposed to be removed. If that changes then a bat survey may be required. At this moment no conditions or informatives are required.

## **7.0 SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

- 7.1 An objection has been received from the occupier of the neighbouring bungalow, 22a Higham Lane. The reasons given for objecting are loss of privacy due to overlooking and the impact on the wider community due to location of the proposed development adjoining Werneth Low Country Park.

## **8.0 ANALYSIS**

- 8.1 The principal issues in deciding this application are:-
- 1) The principle of the development and whether the land is considered as protected green space or a greenfield site.
  - 2) The impact on existing residential amenities.
  - 3) The impact on the setting of the listed Church
  - 4) Access to the site
  - 5) Trees and ecology

## **9.0 The principle of the development**

- 9.1 The application site is not a functional area of open space. It does not provide for any sporting or recreational use and, given the proximity of the large areas of open space at Werneth Low Country Park, the site provides only marginal visual amenity or sense of openness in the locality. It is therefore considered that the application site does not constitute protected green space and so there is no conflict with policy OL4 of the UDP.
- 9.2 Previously-developed land is defined in the NPPF as being land which is or was occupied by a permanent structure, including the curtilage of the developed land, although it should not be assumed that the whole of the curtilage should be developed. The application site forms part of the urban area (that is, it is outside the green belt) and it is within the curtilage of the Church Hall. The land is therefore not considered a greenfield site and so is developable land.

- 9.3 Given the limited amount of built development that is proposed within the curtilage of the Church Hall it is considered that the principle of the development is acceptable and in compliance with OL4 of the UDP and Section 8 of the NPPF.

#### **10.0 Impact on existing residential amenities**

- 10.1 The possible location of the proposed dwellinghouse is illustrated on the submitted indicative plan. Although indicative only, this plan shows there being a distance of more than 35m between the proposed dwellinghouse and the nearest existing neighbouring dwelling, the bungalow at no. 22A Higham Lane. In the arrangement shown on the indicative plan, if there were habitable room windows in the side of the proposed dwellinghouse that face towards the existing bungalow, the Council's normal spacing standards, which are designed to prevent undue over-looking and over-shadowing of neighbouring properties, would require that a distance of 18m be maintained. If there were no habitable room windows in this side of the proposed dwellinghouse the distance would reduce to 11m.
- 10.2 The proposed indicative layout demonstrates that the proposed development can be accommodated on the site without impinging unduly on the amenity of existing residents whilst providing an appropriate residential environment for future residents and so is considered appropriate and in compliance with both the SPD and policy H10 of the UDP.

#### **11.0 Impact on the setting of the listed Church**

- 11.1 In relation to the listed Church the proposed dwellinghouse would be located on the far side of the Church Hall. In this location the impact on the setting of the listed building would be minimal. The impact that the development would have on the setting of the listed building is therefore considered to be acceptable and so policies 1.11 and C6 of the UDP and Section 12 of the NPPF are satisfied.

#### **12.0 Access to the site**

- 12.1 The application site includes the lane located on the eastern side of the Church leading to the existing car park. The indicative layout that has been submitted shows the route an access road might take from the existing car park to the site of the proposed dwellinghouse. Access would therefore be taken from along the existing lane, through the car park and then on to the proposed dwellinghouse. These arrangements, constituting in effect a private driveway, are considered adequate to serve a single dwellinghouse and in compliance with both the SPD and policy H10 of the UDP.

#### **13.0 Trees and ecology**

- 13.1 It is demonstrated on the submitted indicative layout plan that the route an access road might take from the existing car park to the proposed dwellinghouse would not require any existing trees to be removed or be otherwise affected by the development. Given the retention of the existing trees, which would form part of the landscaping proposals held in reserve, the site has been assessed by the local ecologist and it is confirmed that there are no significant ecological constraints, the

only impact being the loss of some grassland. The proposal is therefore considered compliant with policies N4 and N5 of the UDP and Section 11 of the NPPF.

## **14.0 CONCLUSION**

- 14.1 Without impinging unduly on any existing amenities, it is considered that the proposed development constitutes a sustainable development that conforms to the relevant requirements of the Residential Design SPD, the UDP and the NPPF. The recommendation is therefore for approval.

## **RECOMMENDATION**

Grant planning permission subject to the following conditions.

1. Before any development is commenced approval shall first be obtained from the local planning authority with respect to the reserved matters, namely the layout, scale, appearance, access and landscaping of the development.
2. Application for approval of reserved matters must be made not later than the expiry of three years beginning with the date of this permission and the development must be begun not later than the expiry of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.
3. The plans and particulars to be submitted with the reserved matters shall include full details of both hard and soft landscape works, inclusive of existing vegetation cover. These details shall include:-
  - a) hard - existing and proposed finished levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials, minor artefacts and structures [eg: furniture, play equipment, refuse or other storage units, signs, lighting etc], proposed and existing functional services above and below ground [eg; drainage, power, communications cables, pipelines etc indicating lines, manholes, supports etc], retained historic landscape features, proposals for restoration),
  - b) soft - planting plans, written specifications [including cultivation and other operations associated with plant and grass establishment], schedule of plants [noting species, plant sizes and proposed numbers/densities where appropriate], implementation programme).
4. The plans and particulars to be submitted with the reserved matters shall include details of the existing and proposed ground levels for the whole site, and the proposed finished floor levels of the dwellinghouse. The development shall then be implemented in accordance with such details as approved.
5. No works other than the excavation of the foundations and/or piling works for the development shall be undertaken at the site until the CLS2A Contaminated Land Screening Form has been submitted to, and approved in writing by, the Councils Environmental Protection Unit (EPU). Where necessary, a scheme to deal with any contamination / potential contamination shall be submitted to, and approved in writing by the EPU. The scheme shall be appropriately implemented and a completion report demonstrating this and that the site is suitable for its intended use will be approved in writing by the EPU prior to occupation. The discharge of this planning condition will be given in writing by the Local Planning Authority (LPA) on completion of the

development and once all information specified in this condition has been provided to the satisfaction of the EPU.

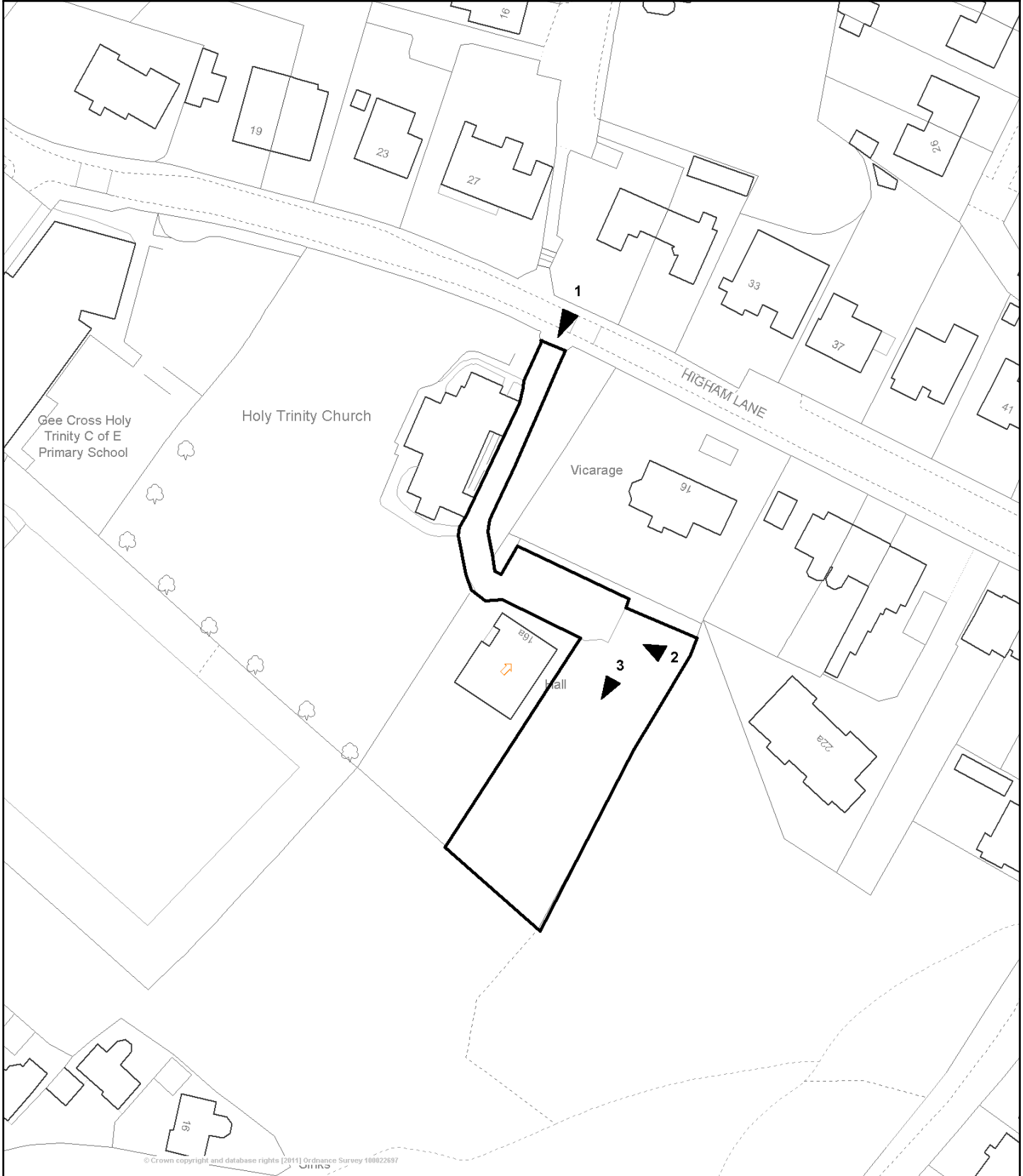
6. Prior to the commencement of any development, a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions shall be submitted to and approved in writing by the Local Planning Authority.
7. The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards and unless otherwise agreed in writing by the Local Planning Authority, no surface water shall discharge to the public sewerage system either directly or indirectly.

Foul and surface water shall be drained on separate systems.

The development shall be completed in accordance with the approved details.

8. The development shall not commence until details of the wheel cleaning facilities, temporary access, vehicle parking and turning facilities to be provided during the construction period, has been submitted to and approved in writing by the local planning authority. These measures shall be implemented and retained in operation through the duration of the building works.
15. During demolition and construction no work (including vehicle and plant movements, deliveries, loading and unloading) shall take place outside the hours of 07:30 and 18:00 Mondays to Fridays and 08:00 to 13:00 Saturdays. No work shall take place on Sundays and Bank Holidays.
16. The development hereby permitted shall be carried out in accordance with the following approved plans: the Location Plan, received on 13<sup>th</sup> March 2017.





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Scale 1/1000 Date 8/5/2017

Centre = 395804 E 393575 N

RIDGE  
191.18

HOLY TRINITY CHURCH

TOP OF PINNACLE  
HIGHEST POINT  
OF BELL TOWER  
197.40

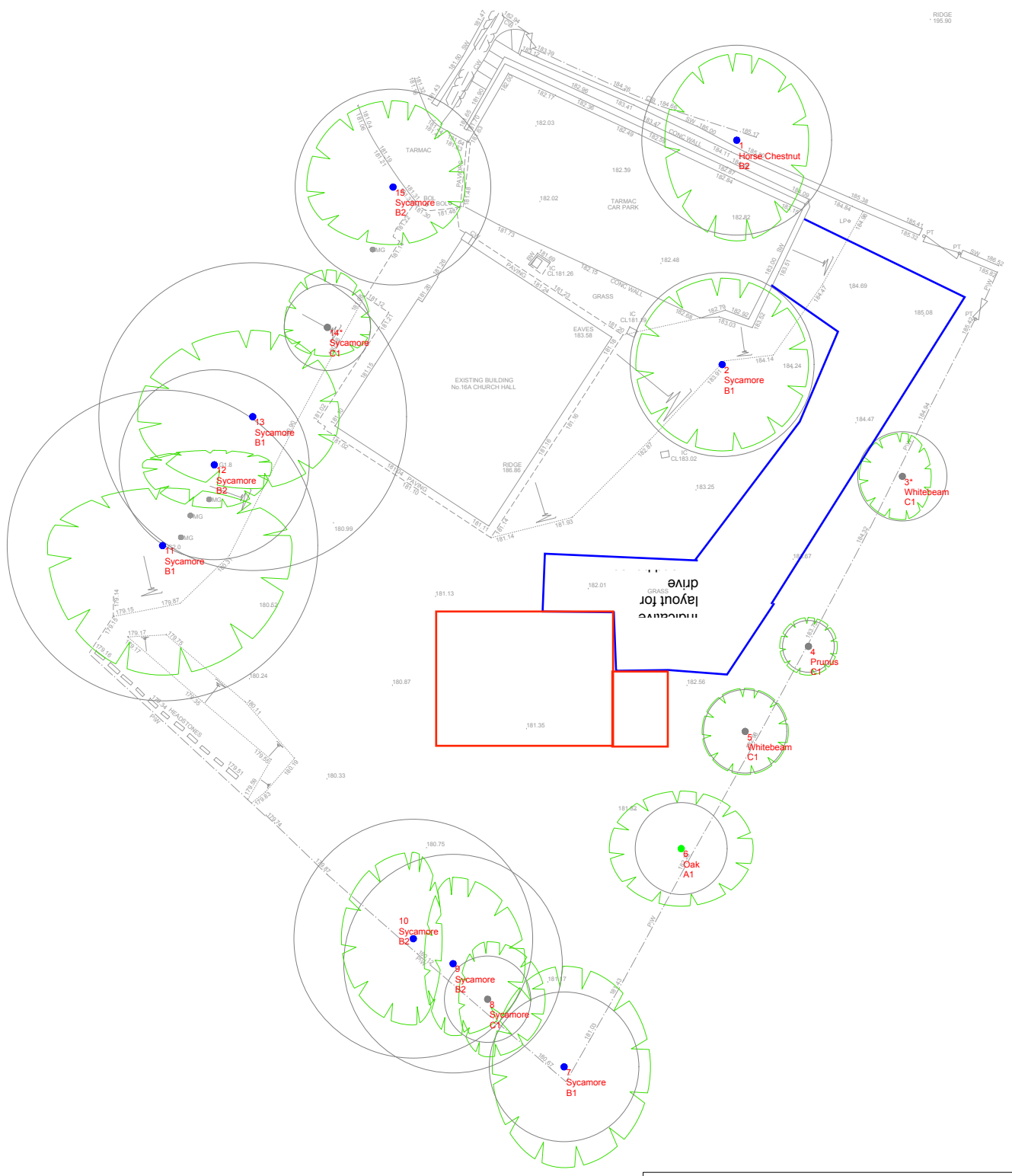
ROOF LEVEL  
OF BELL TOWER  
194.18

EAVES  
185.11

TOP OF BELL TOWER  
PARAPET WALL  
196.44

No. 16 VICARAGE  
EAVES  
192.44

RIDGE  
195.90



**Tree Health Consulting Ltd**  
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Site: Holy Trinity	1:200 @ A2
Drawing Title: Tree Constraints Plan	February 2017

**Key:**

- Category A
- Category B
- Category C
- Category U

**Key:**

- Category
- Crown Spread
- Tree Number
- Species
- Category
- Root Protection Area

NOTE: Tree/group numbers marked with an \* have approximate locations.

Application Number: 17/00131/OUT

Photo 1



Photo 2





**Photo 3**

